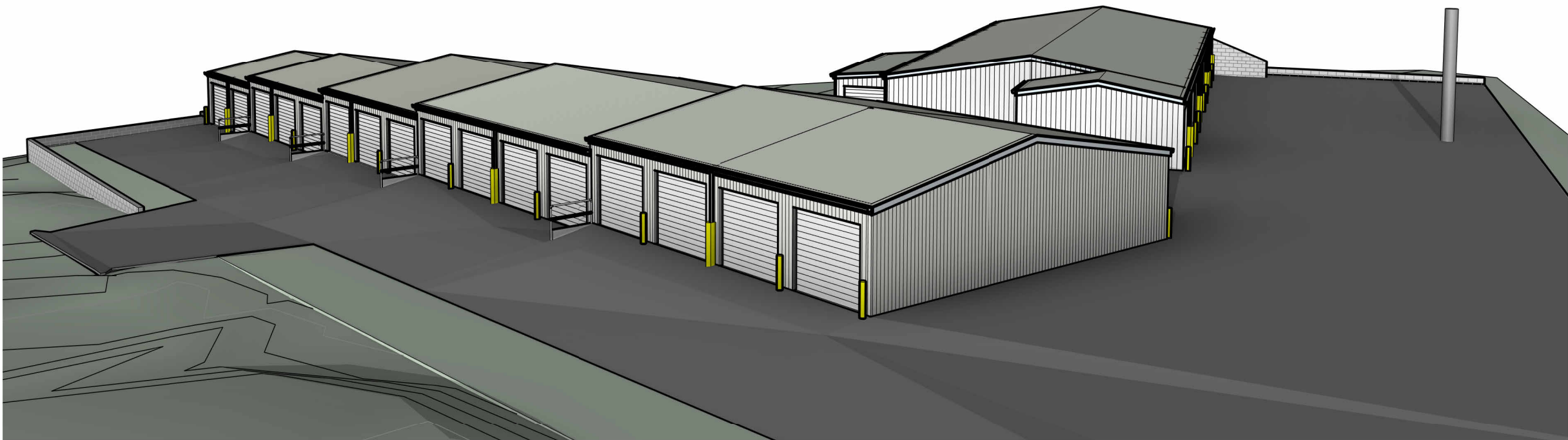


NEW INDUSTRIAL SHEDS AT LOT 90 DP 1119204
27 ROSS STREET, GOULBURN, NSW, 2580

DWG #	REV #	TITLE OF DRAWING
A-01	C	TITLE
A-02	C	COMPLIANCE NOTES
A-03	C	SURVEY
A-04	C	PROPOSED SITE PLAN
A-05	C	GROUP 1 FLOOR PLAN
A-06	C	GROUP 1 ELEVATIONS
A-07	C	GROUP 1 ELEVATIONS
A-08	C	GROUP 2 FLOOR PLAN
A-09	C	GROUP 2 ELEVATIONS
A-10	C	GROUP 2 ELEVATIONS
A-11	C	ROOF PLAN

DWG #	REV #	TITLE OF DRAWING
A-12	C	TYPICAL SECTION
A-13	C	DOOR SCHEDULES
A-14	C	CUT AND FILL PLAN
A-15	C	EROSION AND SEDIMENT CONTROL PLAN
A-16	C	LANDSCAPE PLAN
A-17	C	≤138 DRIVEWAY DETAIL
A-18	C	8.8m DELIVERY TRUCK TURNING CIRCLES
A-19	C	8.8m DELIVERY TRUCK TURNING CIRCLES
A-20	C	3D PERSPECTIVES
A-21	C	3D PERSPECTIVES



ISSUED FOR
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE	TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY	
REVISION A B C	DESCRIPTION DEVELOPMENT APPLICATION GMC RFI - PARK TRANSIT DOCUMENTATION UPDATED DEVELOPMENT APPLICATION	DATE 15/08/2022 19/12/2022 29/05/2024	NEW INDUSTRIAL SHEDS		LOT AND DEPOSITED PLAN NO. LOT 90 DP 1119204	JAN 2022	TL		
			CLIENT GOULBURN BUILDING PRODUCTS			DRAWING SCALE	DRAWN BY	EB	
									JOB NUMBER
							Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.	STREET ADDRESS 27 ROSS STREET GOULBURN NSW 2580	
DRAWING IDENTIFICATION NUMBER A-01	AMENDMENT ISSUE C								

ALL BUILDING WORKS, SIGNAGE, FITTINGS & FIXTURES TO BE INSTALLED IN STRICT ACCORDANCE TO MEET AS1428.1. & BE INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

NCC VOL 1 - SECTION A	GOVERNING REQUIREMENTS
NCC VOL 1 - SECTION B	STRUCTURE
NCC VOL 1 - SECTION C	FIRE RESISTANCE
NCC VOL 1 - SECTION D	ACCESS & EGRESS
NCC VOL 1 - SECTION E	SERVICES & EQUIPMENT
NCC VOL 1 - SECTION F	HEALTH & AMENITY
NCC VOL 1 - SECTION G	ANCILLARY PROVISIONS
NCC VOL 1 - SECTION I	SPECIAL USE BUILDINGS
NCC VOL 1 - SECTION J	ENERGY EFFICIENCY
NCC VOL 1 - SCHEDULE 3	COMMONWEALTH OF AUSTRALIA
NCC VOL 1 - SCHEDULE 4	AUSTRALIAN CAPITAL TERRITORY
NCC VOL 1 - SCHEDULE 5	NEW SOUTH WALES

AS/NZS 1170.2 : 2011	STRUCTURAL DESIGN ACTIONS - WIND ACTIONS
AS 1288 : 2006	GLASS IN BUILDING & NCC CLAUSE BP1.3
AS 1379 : 2007	SPECIFICATION & SUPPLY OF CONCRETE
AS 1562 : 2018	DESIGN & INSTALLATION OF SHEET ROOFING & WALL CLADDING
AS 1684.2 : 2010	TIMBER-FRAMED CONSTRUCTION - NON-CYCLONIC AREA - N1/N2 SUPPLEMENT 1: TIMBER FRAMING SPAN TABLES - WIND CLASSIFICATION N1/N2 - SEASONED SOFTWOOD - STRESS GRADE F5 (SUPPLEMENT TO AS 1684.2 : 2010)
AS 1668.1 : 2015	THE USE OF VENTILATION & AIR CONDITIONING IN BUILDINGS, PART 1 : FIRE & SMOKE CONTROL IN BUILDINGS
AS 1668.2 : 2012	THE USE OF VENTILATION & AIR-CONDITIONING IN BUILDINGS, PART 2 : MECHANICAL VENTILATION IN BUILDINGS
AS 2047 : 2014	GLAZING ASSEMBLIES & NCC BP1.3 & F1.13
AS 2436 : 2010	GUIDE TO NOISE & VIBRATION CONTROL ON CONSTRUCTION, DEMOLITION & MAINTENANCE SITES
AS/NZS 2589 : 2017	GYPSUM LININGS - APPLICATIONS & FINISHING
AS/NZS 2904 : 1995	DAMP-PROOF COURSES & FLASHINGS
AS/NZS 3000 : 2018	ELECTRICAL INSTALLATIONS / WIRING
AS/NZS 3008 : 2017	ELECTRICAL INSTALLATIONS
AS/NZS 3012 : 2010	ELECTRICAL INSTALLATIONS - CONSTRUCTION & DEMOLITION SITES
AS/NZS 3500.3 : 2015	PLUMBING & DRAINAGE - STORMWATER DRAINAGE
AS 3600 : 2018	CONCRETE STRUCTURES
AS 3610.1 : 2018	FORMWORK FOR CONCRETE SPECIFICATIONS
AS 3660.1 : 2014	TERMITE MANAGEMENT PART 1 : NEW BUILDING WORK
AS 3660.2 : 2017	TERMITE MANAGEMENT PART 2 : IN & AROUND EXISTING BUILDINGS & STRUCTURES
AS 3666.1 : 2011	AIR HANDLING & WATER SYSTEMS OF BUILDING MICROBIAL CONTROL
AS 3700 : 2018	MASONRY STRUCTURES
AS 3740 : 2021	WATERPROOFING OF DOMESTIC WET AREAS & NCC PART F1.7
AS 3786 : 2014	SMOKE ALARMS USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONIZATION
AS 4349 : 2007	INSPECTION OF BUILDINGS

AS/NZS 4654 : 2012	WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE-GROUND USE
AS 4647 : 2004	DESIGN, CONSTRUCTION & FIT-OUT OF FOOD PREMISES
AS/NZS 4671 : 2019	STEEL FOR THE REINFORCEMENT OF CONCRETE
AS 5104 : 2017	GENERAL PRINCIPLES ON RELIABILITY FOR STRUCTURES

EMERGENCY LIGHTING	NCC PART E4D2, E4D4 AS 2293.1
FIRE HYDRANTS	NCC PART E1D2, AS 2419.1
FIRE HOSE REELS	NCC PART E1D3, AS 2441
EXIT SIGNS	NCC PART E4D5, E4D6, E4D8, AS/NZS 2293.1
PORTABLE FIRE EXTINGUISHERS	NCC PART E1D14, AS 2444
FIRE BLANKETS	NCC PART E1D14, AS 2444
EXIT DOORS	NCC PART D3, INC. D3D24, D3D25, D3D26, D3D28
NOTE : EMERGENCY DOORS TO REMAIN CLEAR AT ALL TIMES.	

NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.

INGRESS TO AND EGRESS FROM THE SITE, CAR PARKING AND ACCESS, DRIVEWAYS WIDTHS, TURNING CIRCLES AND THE DIMENSIONS OF ALL LOADING BAYS MUST BE DESIGNED IN ACCORDANCE WITH :

- AS/ANZS 2890.1:2004, PARKING FACILITIES, PART 1 : OFF-STREET CAR PARKING
- AS 2890.2:2018, PARKING FACILITIES, PART 2 : OFF-STREET COMMERCIAL VEHICLE FACILITIES
- AS 2890.3:2015, PARKING FACILITIES, PART 3 : BICYCLE PARKING
- AS 2890.5:2020, PARKING FACILITIES, PART 5 : ON-STREET PARKING
- AS 2890.6:2009, PARKING FACILITIES, PART 6 : OFF-STREET PARKING FOR PEOPLE WITH DISABILITIES
- RMS AUSTRALIAN STANDARD SUPPLEMENTS
- GUIDE TO TRAFFIC GENERATING DEVELOPMENTS, VERSION 2.2 BY RTA OCT 2002
- GOULBURN MULWAREE COUNCIL DCP OR LOCAL COUNCIL DCP

IF & WHEN ASBESTOS IS FOUND, WORK IS TO STOP IMMEDIATELY & A LICENSED ASBESTOS REMOVALIST IS TO BE ENGAGED TO REMOVE THE ASBESTOS.

THE ASSESSMENT, REMOVAL & DISPOSAL OF ASBESTOS TO MEET ALL AUSTRALIAN STANDARDS, NCC (BCA) REQUIREMENTS & "HOW TO SAFELY REMOVE ASBESTOS - CODE OF PRACTICE" APRIL 2016 BY SAFE WORK AUSTRALIA, APPROVED CODE OF PRACTICE UNDER SECTION 274 OF THE "WORK HEALTH & SAFETY ACT" (THE WHS ACT) & THE "WORK HEALTH & SAFETY REGULATIONS" (THE WHS REGULATIONS).

THE REMOVAL OF ASBESTOS IS TO BE ACCESSED & CARRIED OUT BY A LICENSED ASBESTOS REMOVALIST WHO IS APPROPRIATELY LICENSED TO CARRY OUT THE SCOPE OF WORKS.

THE LICENSED ASBESTOS REMOVALIST MUST PREPARE AN ASBESTOS REMOVAL CONTROL PLAN FOR ANY LICENSED ASBESTOS REMOVAL WORK THEY ARE COMMISSIONED TO CARRY OUT. THE ASBESTOS REMOVAL CONTROL PLAN TO BE PREPARED PRIOR TO COMMENCEMENT OF WORKS.

DURING THE REMOVAL & DISPOSAL OF THE ASBESTOS, THE LICENSED ASBESTOS REMOVALIST IS TO ENSURE DECONTAMINATION FACILITIES, WASTE CONTAINMENT & DISPOSAL METHODS MEET THE ABOVE-MENTIONED RULES & REGULATIONS.

IF ASBESTOS CONTAMINATED SOIL IS DISCOVERED DURING WORKS & EXCAVATION
ON SITE, ALL WORK IS TO CEASE IMMEDIATELY. THE LICENSED ASBESTOS REMOVALIST IS
TO BE CONTACTED IMMEDIATELY & AWAIT THEIR INSTRUCTIONS.

ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3rd PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY OR INDEMNITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ON SITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORKS. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

REGISTERED SURVEYOR TO ESTABLISH BOUNDARY & SET OUT BUILDING IN STRICT
ACCORDANCE WITH THIS DOCUMENTATION SET. ALL DIMENSIONS SUBJECT TO SITE
SURVEY.

SUPPLY & INSTALL ALL NECESSARY FITTINGS & FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE,
PRIOR TO COMMENCING ANY WORKS.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO MAKE THEMSELVES FULLY AWARE OF CONDITIONS WHICH WILL AFFECT THE EXECUTION OF THE WORKS.

THE CONTRACTOR IS TO ENSURE COMPLETE COMPLIANCE WITH ALL RELEVANT NCC CODES, AUSTRALIAN STANDARDS AND LOCAL REGULATIONS AND BY-LAWS AS REQUIRED

ALL MATERIALS & WORKMANSHIP ARE TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

ALL MATERIALS & WORKMANSHIP ARE TO BE OF BEST QUALITY UNDERTAKEN BY FULLY QUALIFIED TRADESMEN. ALL MATERIALS TO BE SUPPLIED NEW. ALL DAMAGED MATERIALS TO BE REJECTED AND REPLACED WITH NEW.

IF ALTERNATIVE MATERIAL OR PRODUCT IS PROPOSED TO THAT SPECIFIED, THE BUILDER MUST PROVIDE EVIDENCE SHOWING COMPLIANCE WITH THE BCA AND ALL RELEVANT STANDARDS RELATING TO THE APPLICATION OF THE PROPOSED MATERIAL. FURTHER THE ARCHITECT ACCEPTS NO LIABILITY OR INDEMNITY FOR THE SUBSTITUTION OF A MATERIAL CONTRARY TO THAT SPECIFIED BY THE ARCHITECT WITHOUT THE PROVISION OF WRITTEN DOCUMENTATION SHOWING COMPLIANCE WITH THE BCA AND AUSTRALIAN STANDARDS AND THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT.

THE CONTRACTOR IS TO NOTIFY THE PROJECT MANAGER OF ANY ERRORS OR OMISSIONS IN THE DOCUMENTATION PRIOR TO COMMENCING WORK. THE PROJECT MANAGER TO CONTACT THE APPROPRIATE CONSULTANT FOR ADVICE PRIOR TO COMMENCING THE WORKS.

COMMENCEMENT OF THE WORKS BY THE CONTRACTOR CONSTITUTES A FULL UNDERSTANDING OF THE PROJECT & ACCEPTANCE OF ALL SITE CONDITIONS & THE SUPPLIED DOCUMENTATION.

TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY OR INDEMNITY FOR CONDITIONS, LATENT OR OTHERWISE, ARISING WITHOUT NOTIFICATION PRIOR TO COMMENCING THE WORKS.

ALL WORK TO BE CARRIED OUT BY COMPETENT, SKILLED & QUALIFIED TRADESPEOPLE
HOLDING CURRENT CERTIFICATION WITH THE REQUIRED AUTHORITY.

PROVIDE ALL MATERIALS, LABOUR & EQUIPMENT NECESSARY TO COMPLETE THE WORK
AS PER THE DRAWING SET & ASSOCIATED DOCUMENTATION.

GRADE FINISHED GROUND LINE TO GIVE FALLS AWAY FROM BUILDINGS.

TERMITE CONTROL TO ALL AREAS AS REQUIRED BY AS 3660.1 & 3660.2

INSTALL HARD WIRED SMOKE ALARMS TO AS 3786.

ALL WALLS TO BE WRAPPED IN ENVIROSEAL COMMERCIAL WALL WRAP. ALL JOINTS TO BE LAPPED MIN. 300mm AND TAPED. FIX TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

RANGE HOODS EXHAUST SYSTEMS TO HAVE A MINIMUM FLOW RATE OF KITCHENS 5 LS/m² & CHANGEROOMS 5 LS/m² TO AS 4674 & AS 1668.2.

EXHAUSTS FROM BATHROOMS & LAUNDRY MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. REFER TO MECHANICAL DETAILS.

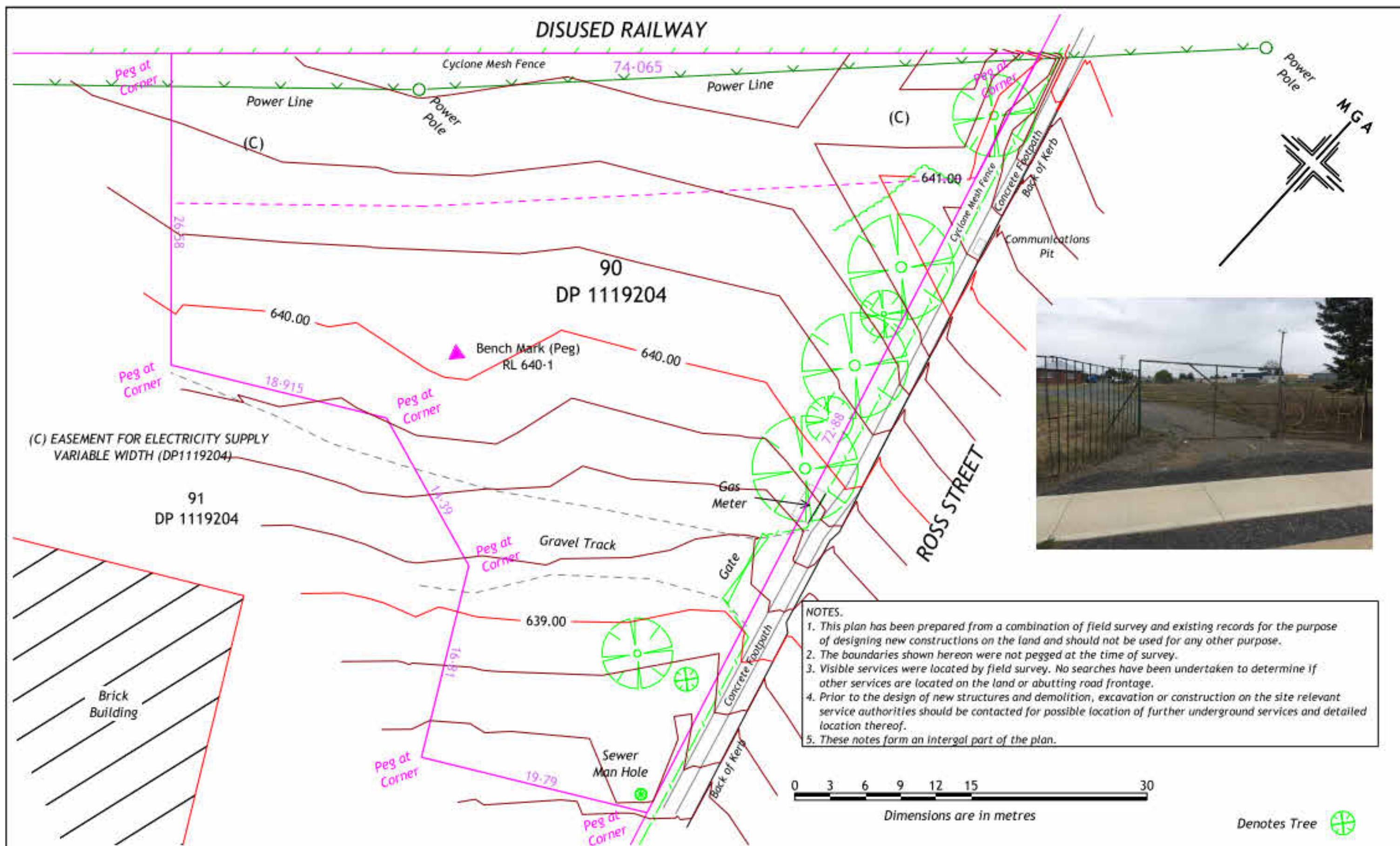
MECHANICAL VENTILATION & LIGHTING TO MEET NCC PART F4.

ONCE WINDOWS ARE INSTALLED, CONTRACTOR TO SEAL WINDOW PERIMETERS WITH EXPANDING FOAM FILLER FIRE RETARDANT TO GIVE FULLY AIR-TIGHT SEAL AGAINST FRAME. INSTALL TO MANUFACTURERS CURRENT PRINTED INSTRUCTIONS.

A JAS-ANZ ACCREDITED 3RD PARTY PROCESSOR CERTIFICATE (ACRS OR EQUIVALENT) MUST BE SUPPLIED WITH ALL STEEL REINFORCEMENT AT PROCUREMENT, BEFORE ANY CONCRETE IS PLACED TO GUARANTEE CONFORMANCE OF THE REINFORCEMENT TO AS/NZS 4671.

CLADDING TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. INSTALL OVER ENVIROSEAL COMMERCIAL WALL WRAP. LAP & TAPE ALL JOINTS & FRAME PENETRATIONS TO ENSURE AN AIRTIGHT BUILDING SEAL.

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE	DRAWING COMMENCED		DRAWING VERIFIED BY		
REVISION A C	DESCRIPTION DEVELOPMENT APPLICATION UPDATED DEVELOPMENT APPLICATION	DATE 15/08/2022 29/05/2024	NEW INDUSTRIAL SHEDS		COMPLIANCE NOTES		JAN 2022		TL	
			CLIENT		LOT AND DEPOSITED PLAN NO.	LOT 90 DP 1119204	DRAWING SCALE	DRAWN BY		
			GOULBURN BUILDING PRODUCTS				1 : 100	EB		
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.			AT SHEET SIZE	JOB NUMBER			
						A3 SHEET	0122-1457			
					STREET ADDRESS	27 ROSS STREET GOULBURN NSW 2580		DRAWING IDENTIFICATION NUMBER		AMENDMENT ISSUE
								A-02		C



SCALE - 1:300
AZIMUTH - MGA
CONTOUR INTERVAL - 0.25m
DATUM - AHD
DATE - 30/03/2020
REF - 24051

DETAIL SURVEY AND CONTOUR PLAN
TITLE DETAILS: LOT 90 DP1119204
SITE ADDRESS: 27 ROSS STREET, GOULBURN

SCCS
SOUTHERN CROSS
CONSULTING SURVEYORS

20 Clifford Street
PO Box 142
GOULBURN NSW 2580

T: 02 4822 1366
F: 02 4822 1365

Email : admin@scssurveyors.com.au

ALL LEVELS ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.

NOTES:

- REGISTERED SURVEYOR TO ESTABLISH BOUNDARY & SET OUT BUILDING IN STRICT ACCORDANCE WITH THIS DOCUMENTATION SET. ALL DIMENSIONS SUBJECT TO SITE SURVEY.
- SUPPLY & INSTALL ALL NECESSARY FITTINGS & FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS.
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- TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY OR INDEMNITY FOR CONDITIONS, LATENT OR OTHERWISE, ARISING WITHOUT NOTIFICATION PRIOR TO COMMENCING THE WORKS.
- ALL WORK TO BE CARRIED OUT COMPETENT, SKILLED & QUALIFIED TRADESPEOPLE HOLDING CURRENT CERTIFICATION WITH THE REQUIRED AUTHORITY.
- PROVIDE ALL MATERIALS, LABOUR & EQUIPMENT NECESSARY TO COMPLETE THE WORK AS PER THE DRAWING SET & ASSOCIATED DOCUMENTATION.
- GRADE FINISHED GROUND LINE TO GIVE FALLS AWAY FROM BUILDINGS.



SITE AREA 2866.34 m²

1 PROPOSED SITE PLAN
1 : 500 @ A3

ISSUED FOR
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION A C	DESCRIPTION DEVELOPMENT APPLICATION UPDATED DEVELOPMENT APPLICATION	DATE 15/08/2022 29/05/2024	NEW INDUSTRIAL SHEDS		PROPOSED SITE PLAN	JAN 2022	TL
			CLIENT GOULBURN BUILDING PRODUCTS		LOT AND DEPOSITED PLAN NO. LOT 90 DP 1119204	DRAWING SCALE As indicated	DRAWN BY EB
						AT SHEET SIZE A3 SHEET	JOB NUMBER 0122-1457
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.	STREET ADDRESS 27 ROSS STREET GOULBURN NSW 2580	DRAWING IDENTIFICATION NUMBER A-04	AMENDMENT ISSUE C	

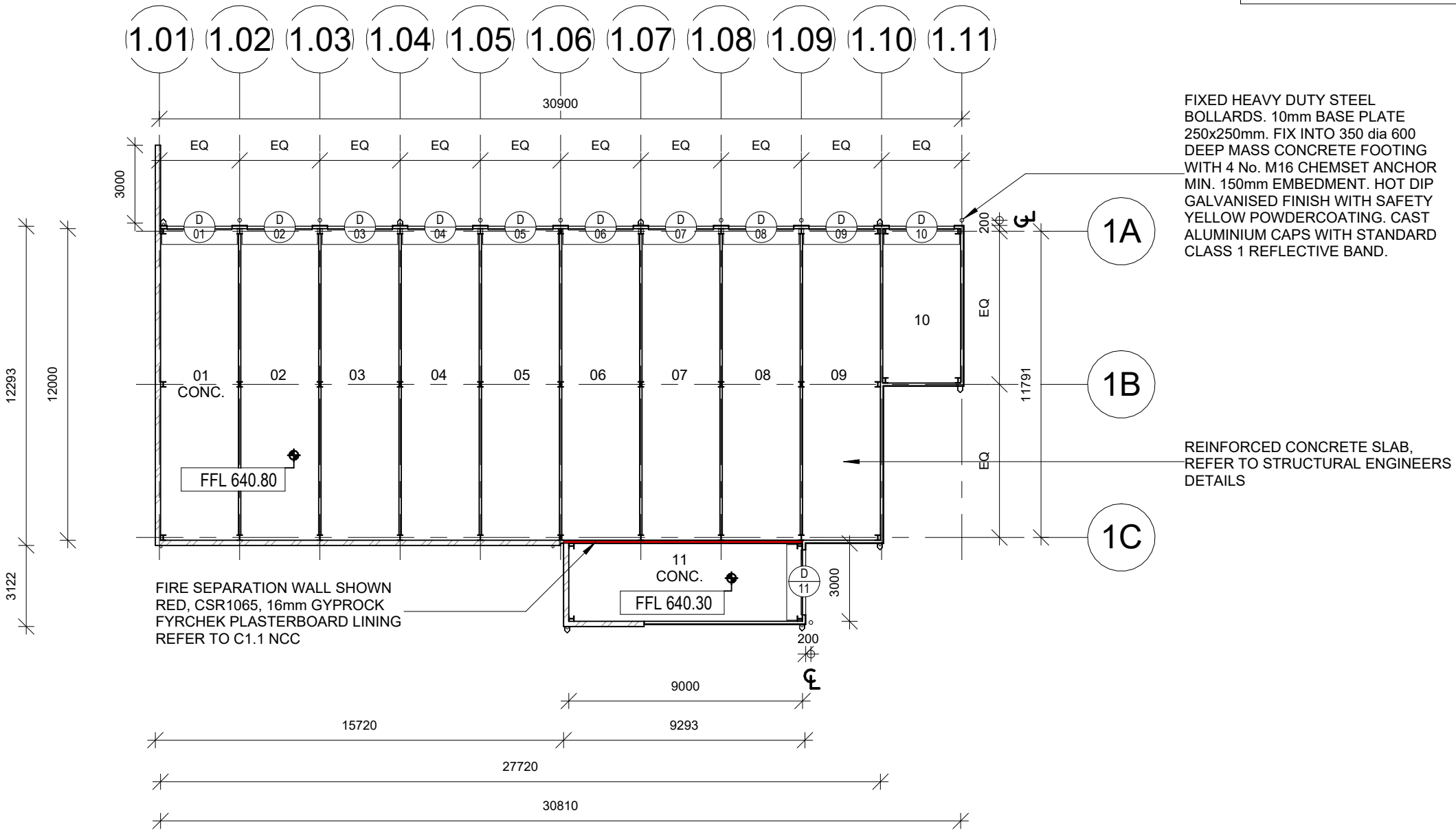
TIM LEE ARCHITECTS
residential commercial industrial
P: 02 4822 5934
ABN: 71425067537
ROSS PLACE
GOULBURN NSW 2580
NOMINATED ARCHITECT:
TIM LEE
NSW REG: 7304
ACT REG: 1030

LEGEND	
<div><div>D</div><div>EX</div></div>	DOOR NUMBER, REFER TO SCHEDULE
<div><div>WEX</div></div>	WINDOW NUMBER, REFER TO SCHEDULE
<div><div>DP</div><div>o</div></div>	DOWNPIPES, SPACED MAX. 12m APART
<div><div>+</div></div>	DOWNPIPES WITH SPREADER
CONC	CONCRETE, NON-SLIP HONED FINISH
<div><div>MV</div></div>	SELECTED MECHANICAL VENTILATION, CEILING OR WALL MOUNTED EXHAUST
<div><div>S</div></div>	SELECTED CEILING MOUNTED HARD WIRED SMOKE ALARMS INSTALLED TO MEET AS 3786
<div><div>o</div></div>	PROTECTION BOLLARD
<div><div>U</div></div>	DOWNPIPE GUARD

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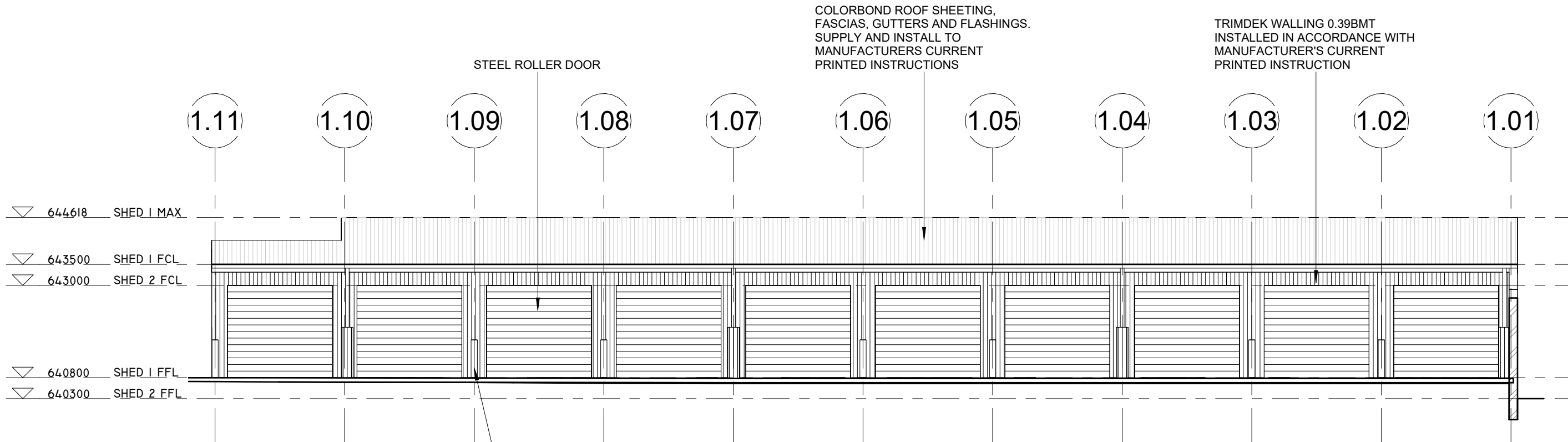
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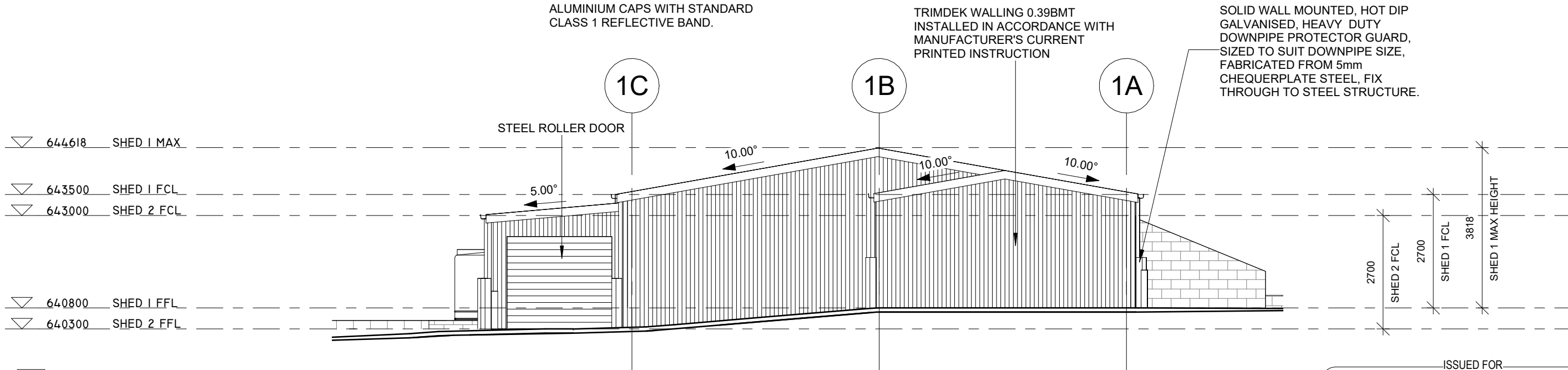
1 GROUP 1 FLOOR PLAN
1 : 200 @ A3

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					STREET ADDRESS	DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
					27 ROSS STREET GOULBURN NSW 2580	A-05	C



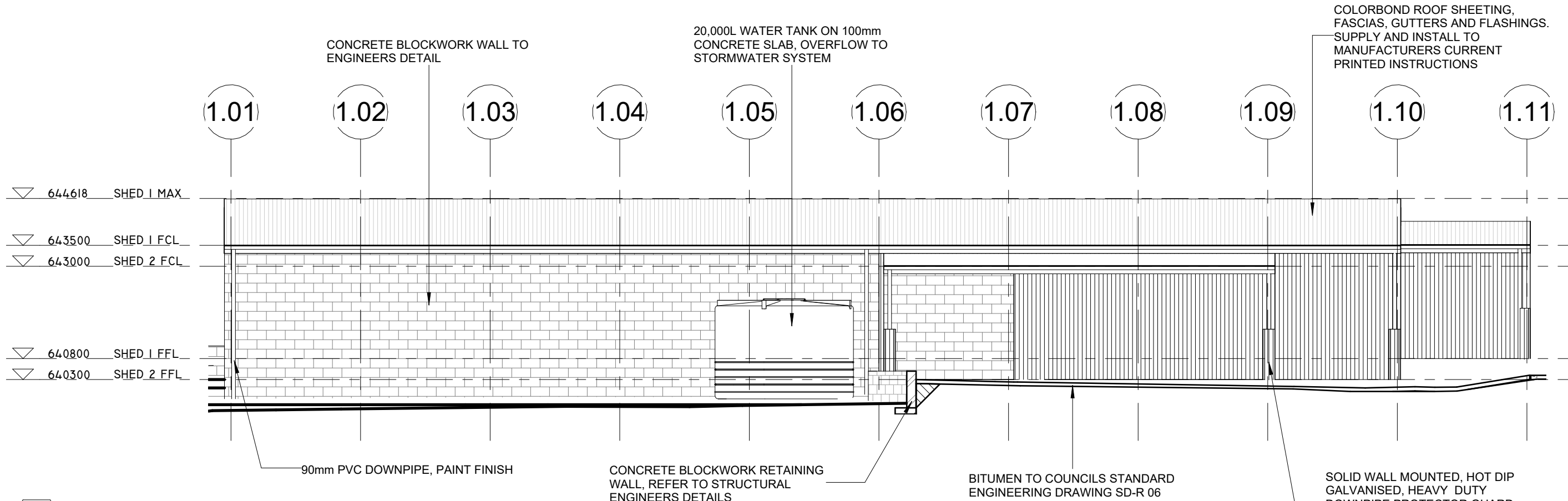
1 GROUP 1 - NORTH ELEVATION
1 : 100 @ A3



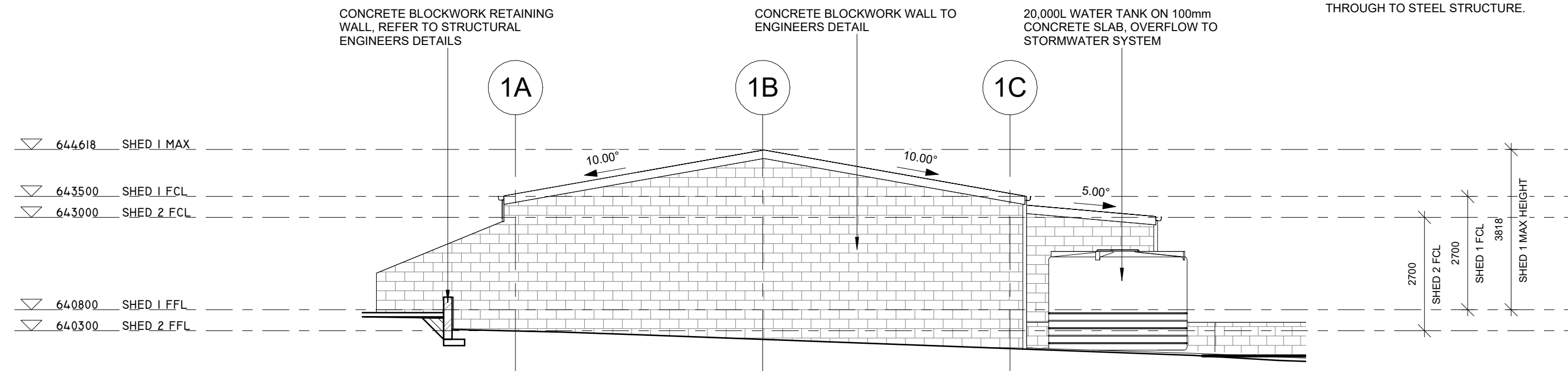
2 GROUP 1 - EAST ELEVATION
1 : 100 @ A3

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DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div></div></div><div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW 2580</div></div><div><div>NOMINATED ARCHITECT:</div><div>TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div></div> <div><div></div><div></div></div>	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	NEW INDUSTRIAL SHEDS		GROUP 1 ELEVATIONS	JAN 2022	TL
A	DEVELOPMENT APPLICATION	15/08/2022	CLIENT		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY
C	UPDATED DEVELOPMENT APPLICATION	29/05/2024	GOULBURN BUILDING PRODUCTS		LOT 90 DP 1119204	1 : 100	EB
			<div>Figured dimensions take precedence. Do not scale drawings.</div> <div>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.</div> <div>All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.</div> <div>COPYRIGHT TIM LEE ARCHITECTS</div> <div>Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</div> <div>C</div>		STREET ADDRESS	A3 SHEET	JOB NUMBER
				27 ROSS STREET GOULBURN NSW 2580	DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
					A-06	C	











1 GROUP 1 - SOUTH ELEVATION
1 : 100 @ A3



2 GROUP 1 - WEST ELEVATION
1 : 100 @ A3

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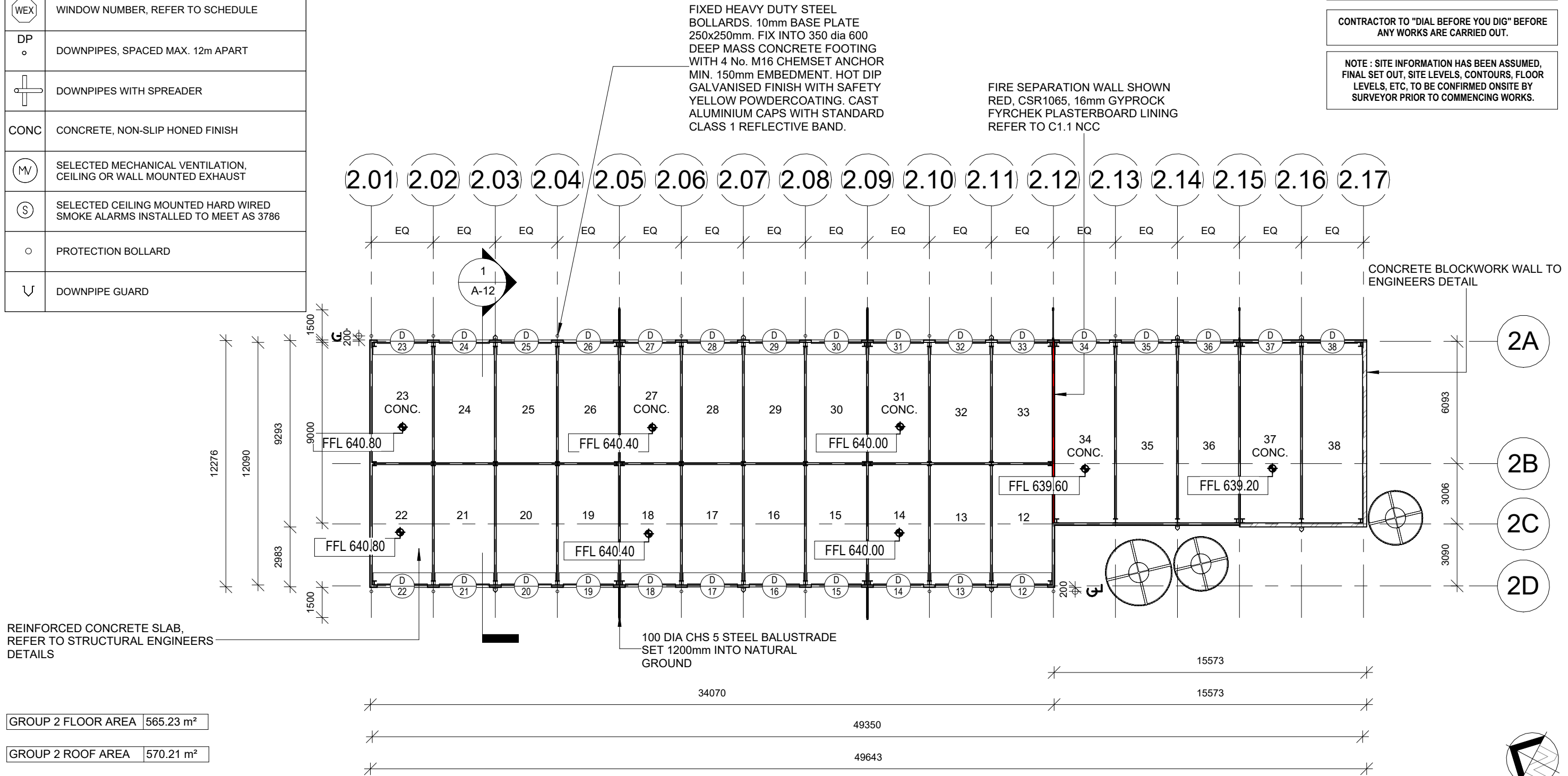
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REVISION A C	DESCRIPTION DEVELOPMENT APPLICATION UPDATED DEVELOPMENT APPLICATION	DATE 15/08/2022 29/05/2024	NEW INDUSTRIAL SHEDS		GROUP 1 ELEVATIONS	JAN 2022	TL
			CLIENT		LOT 90 DP 1119204	DRAWING SCALE 1 : 100 AT SHEET SIZE	DRAWN BY EB
			GOULBURN BUILDING PRODUCTS			A3 SHEET	JOB NUMBER 0122-1457
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.	STREET ADDRESS 27 ROSS STREET GOULBURN NSW 2580	DRAWING IDENTIFICATION NUMBER A-07	AMENDMENT ISSUE C	

LEGEND	
	DOOR NUMBER, REFER TO SCHEDULE
	WINDOW NUMBER, REFER TO SCHEDULE
	DOWNPipes, SPACED MAX. 12m APART
	DOWNPipes WITH SPREADER
CONC	CONCRETE, NON-SLIP HONED FINISH
	SELECTED MECHANICAL VENTILATION, CEILING OR WALL MOUNTED EXHAUST
	SELECTED CEILING MOUNTED HARD WIRED SMOKE ALARMS INSTALLED TO MEET AS 3786
	PROTECTION BOLLARD
	DOWNPipe GUARD

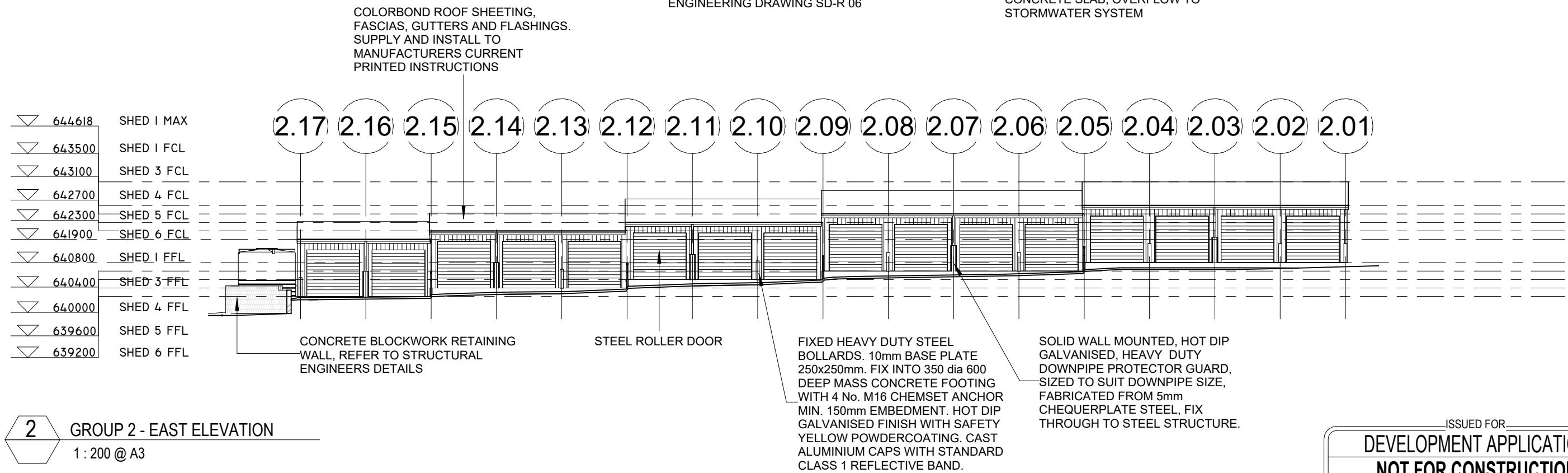
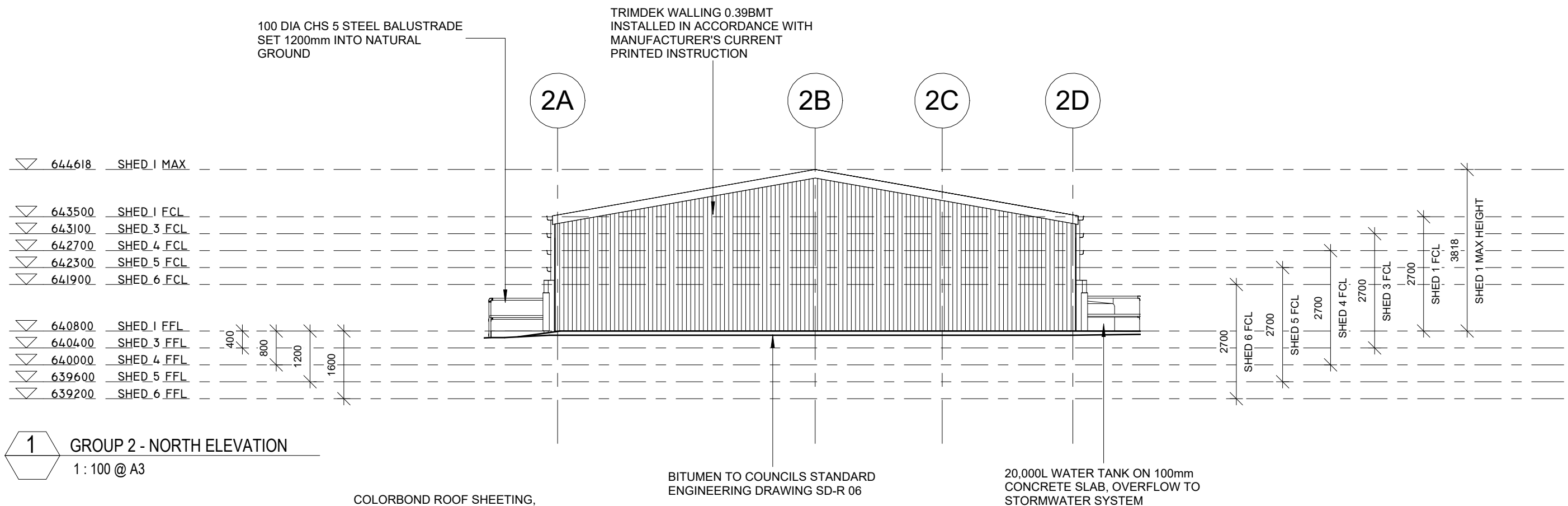
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CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

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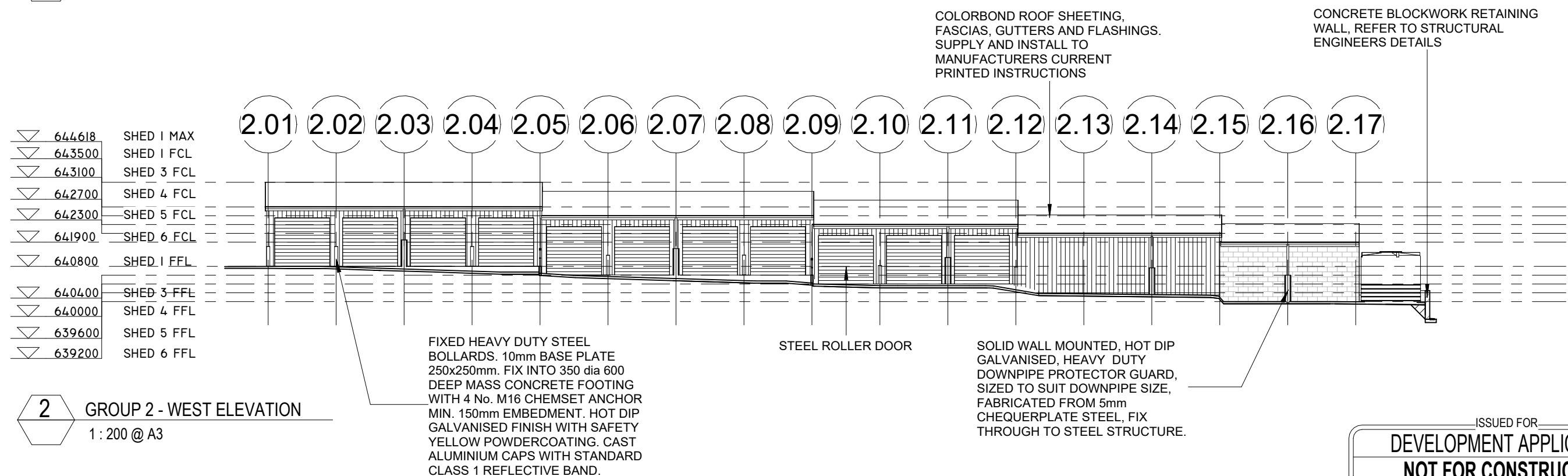
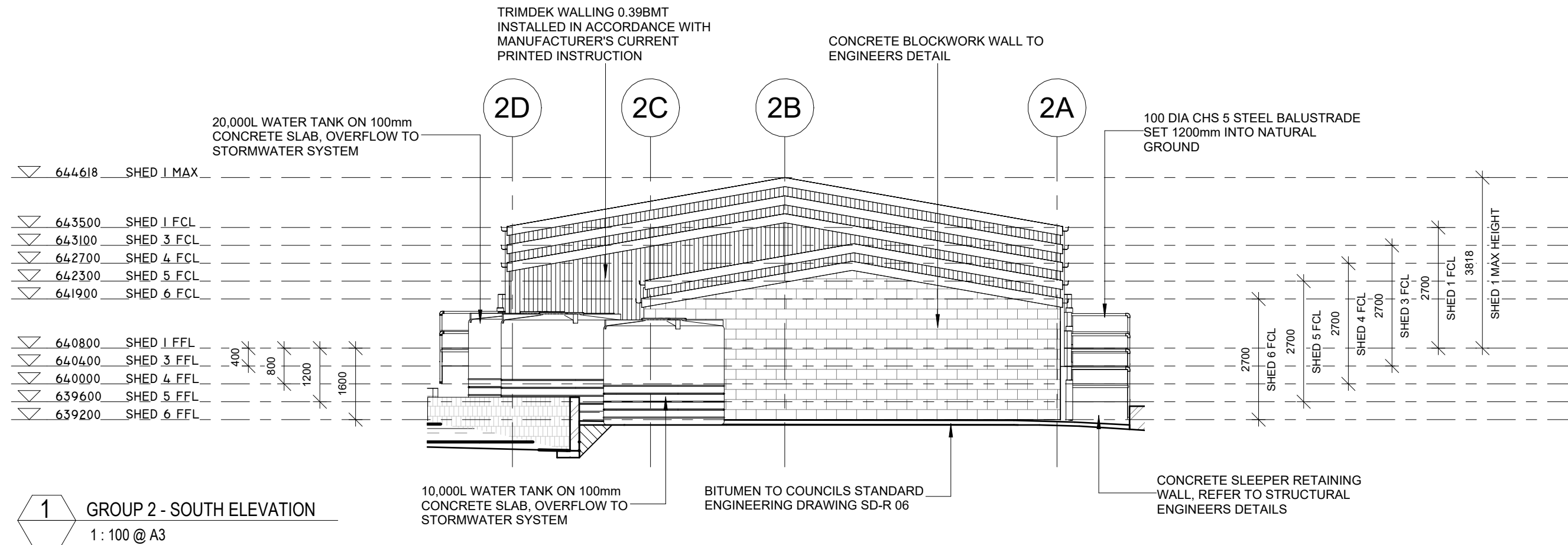


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REVISION	DESCRIPTION	DATE	NEW INDUSTRIAL SHEDS		GROUP 2 FLOOR PLAN	JAN 2022	TL
A	DEVELOPMENT APPLICATION UPDATED DEVELOPMENT APPLICATION	15/08/2022	CLIENT		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY
C		29/05/2024	GOULBURN BUILDING PRODUCTS		LOT 90 DP 1119204	As indicated <small>AT SHEET SIZE</small>	EB
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				STREET ADDRESS	DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
					A-08	C	



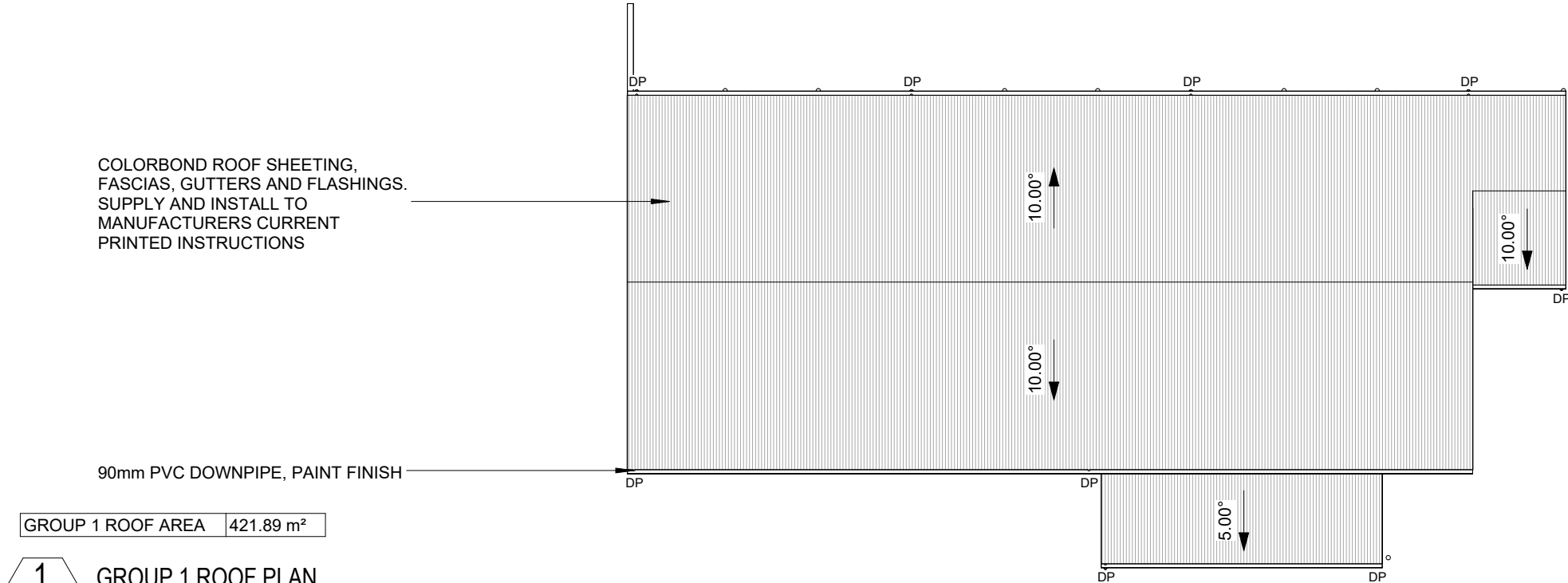
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			CLIENT		LOT AND DEPOSITED PLAN NO. LOT 90 DP 1119204	DRAWING SCALE	DRAWN BY
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						AT SHEET SIZE	JOB NUMBER
							A3 SHEET
			STREET ADDRESS	27 ROSS STREET GOULBURN NSW 2580	DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
					A-09	C	



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C		29/05/2024	GOULBURN BUILDING PRODUCTS			As indicated	EB
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				STREET ADDRESS	27 ROSS STREET GOULBURN NSW 2580	DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
						A-10	C



GROUP 1 ROOF AREA 421.89 m²

1 GROUP 1 ROOF PLAN
1 : 200 @ A3

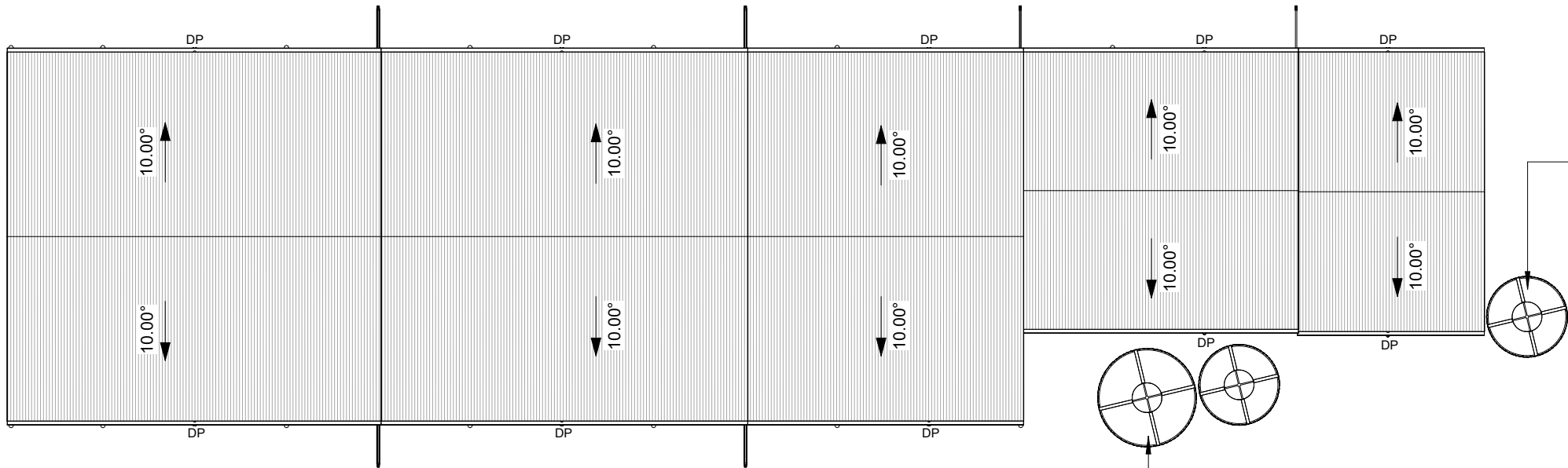
ROOF LEGEND

DP

STEEL QUAD GUTTERING WITH UPVC 90mm Ø DOWNPIPES, PAINT FINISH. OVERFLOW TO STORMWATER SYSTEM.

COLORBOND ROOF SHEETING, FASCIAS, GUTTERS AND FLASHINGS. SUPPLY AND INSTALL TO MANUFACTURERS CURRENT PRINTED STANDARD.

ROOF DRAINAGE SYSTEM INSTALLED IN ACCORDANCE WITH ROOF DRAINAGE SYSTEMS - DESIGN AS/NZS 3500.3.

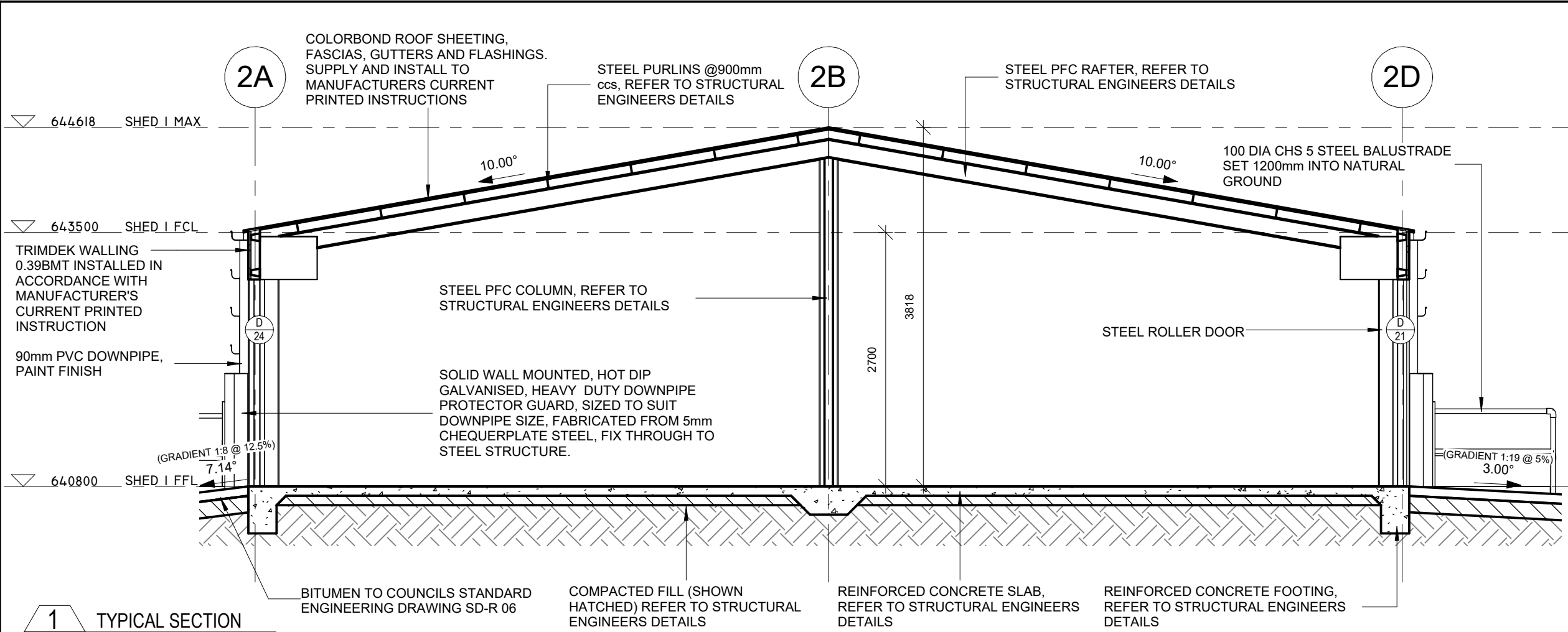


GROUP 2 ROOF AREA 570.21 m²

2 GROUP 2 ROOF PLAN
1 : 200 @ A3

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CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.

- NOTES:**
- REGISTERED SURVEYOR TO ESTABLISH BOUNDARY & SET OUT BUILDING IN STRICT ACCORDANCE WITH THIS DOCUMENTATION SET. ALL DIMENSIONS SUBJECT TO SITE SURVEY.
 - SUPPLY & INSTALL ALL NECESSARY FITTINGS & FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
 - ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO MAKE THEMSELVES FULLY AWARE OF CONDITIONS WHICH WILL AFFECT THE EXECUTION OF THE WORKS.
 - THE CONTRACTOR IS TO ENSURE COMPLETE COMPLIANCE WITH ALL RELEVANT NCC CODES, AUSTRALIAN STANDARDS AND LOCAL REGULATIONS AND BY-LAWS AS REQUIRED.
 - ALL MATERIALS & WORKMANSHIP ARE TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
 - ALL MATERIALS & WORKMANSHIP ARE TO BE OF BEST QUALITY UNDERTAKEN BY FULLY QUALIFIED TRADESMEN. ALL MATERIALS TO BE SUPPLIED NEW. ALL DAMAGED MATERIALS TO BE REJECTED AND REPLACED WITH NEW.
 - THE CONTRACTOR IS TO NOTIFY THE PROJECT MANAGER OF ANY ERRORS OR OMISSIONS IN THE DOCUMENTATION PRIOR TO COMMENCING WORK. THE PROJECT MANAGER TO CONTACT THE APPROPRIATE CONSULTANT FOR ADVICE PRIOR TO COMMENCING THE WORKS.
 - COMMENCEMENT OF THE WORKS BY THE CONTRACTOR CONSTITUTES A FULL UNDERSTANDING OF THE PROJECT & ACCEPTANCE OF ALL SITE CONDITIONS & THE SUPPLIED DOCUMENTATION.
 - TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY OR INDEMNITY FOR CONDITIONS, LATENT OR OTHERWISE, ARISING WITHOUT NOTIFICATION PRIOR TO COMMENCING THE WORKS.
 - ALL WORK TO BE CARRIED OUT COMPETENT, SKILLED & QUALIFIED TRADESPEOPLE HOLDING CURRENT CERTIFICATION WITH THE REQUIRED AUTHORITY.
 - PROVIDE ALL MATERIALS, LABOUR & EQUIPMENT NECESSARY TO COMPLETE THE WORK AS PER THE DRAWING SET & ASSOCIATED DOCUMENTATION.
 - GRADE FINISHED GROUND LINE TO GIVE FALLS AWAY FROM BUILDINGS.

GENERAL NOTES:

- PROVIDE TERMITE CONTROL TO ALL AREAS AS REQUIRED BY PART B OF THE BCA, AS 3660.1 & 3660.2.
- INSTALL HARD WIRED SMOKE ALARMS TO AS 3786 ADJACENT TO SLEEPING AREAS AS DIRECTED ONSITE.
- ALL WALLS TO BE FULLY SARKED, CSR BRADFORD WALLWRAP XP OR EQUAL.
- RANGE HOODS EXHAUST SYSTEMS TO HAVE A MINIMUM FLOW RATE OF 40L/s.
- EXHAUSTS FROM BATHROOMS & LAUNDRY MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR. MECHANICAL VENTILATION & LIGHTING TO MEET PART F4 OF THE BCA. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- CONNECT ALL NEW DOWNPIPES TO NEW WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.
- CONNECT ALL NEW DOWNPIPES TO NEW WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.

EXTERNAL STAIRS

NON-SLIP PRECAST STEPS TO BE 75mm THICK. ALL STEPS TO HAVE NON-SLIP GROOVES TO THE FRONT EDGE. ALL STEPS TO BE IN ONE PIECE FOR ITS FULL LENGTH. STAIR RISE AND GOING TO COMPLY WITH BCA D2.13 - 2R+G : GREATER THAN 550mm LESS THAN 700mm. ALL STAIR RISERS TO BE EQUAL AND COMPLY WITH BCA D2.13 - MIN. 115mm AND MAX. 190mm. MAXIMUM VARIANCE ACROSS THE STAIR LENGTH ±2mm. ALL STAIR GOINGS TO BE EQUAL TO AND COMPLY WITH BCA D2.13 - MIN. 240mm (PRIVATE), MIN. 250mm (PUBLIC) AND MAX. 355mm.

CONCRETE SLABS & FOUNDATIONS

ALL SUB-GRADE & COMPACTED FILL BELOW SLAB TO APPROVAL USING APPROVED GRANULAR MATERIAL COMPACTED TO 98% OF STANDARD DRY DENSITY. ALL FOOTINGS DOWN TO SOLID FOUNDATIONS WITH MIN. 150KPa. OR A APPROVED BY ENGINEER SITE INSPECTION PRIOR TO CONCRETE POUR.

- A JAS-ANZ ACCREDITED 3RD PARTY PROCESSOR CERTIFICATE (ACRS OR EQUIVALENT) MUST BE SUPPLIED WITH ALL STEEL REINFORCEMENT AT PROCUREMENT, BEFORE ANY CONCRETE IS PLACED, TO GUARANTEE CONFORMANCE OF THE REINFORCEMENT TO AS/NZS 4671.

MINIMUM BEARING PRESSURE 150KPa. ONO.

FILL & FILL COMPACTION TO ENGINEER'S DETAILS.

50mm SET DOWN FOR THRESHOLD AT ROLLER DOOR OPENING.

50mm SET DOWN FOR WET AREAS.

FRAMING

TIMBER FRAME BRACING, TIE-DOWNS & JOINT SCHEDULE TO BE DESIGNED & CERTIFIED BY THE FRAME FABRICATOR IN ACCORDANCE WITH AS1684 (NATIONAL TIMBER FRAMING CODE).

CEILINGS

10mm PLASTERBOARD CEILING LINING SCREW FIXED TO 'RONDO' CEILING BATTENS AT 450cts. 'RONDO' CEILING BATTENS NAILED TO UNDERSIDE OF TRUSSES OR JOISTS. INSTALL AL FITTINGS & FIXTURES TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. 90mm STANDARD PROFILE PLASTERBOARD CORNICE.

WALLS

INTERNAL WALLS GENERALLY TO BE 10mm PLASTERBOARD OVER 90x45 (LOADBEARING WALL) OR 90x35 (NON LOADBEARING WALLS) MGP10 F5 STUD AT 450cts. USE 6mm VILLABOARD TO WET AREAS.

EXTERIOR WALLS - MASONRY

WEEPHOLES TO EVERY THIRD PERPEND. SUPER ALCOR DCP OVER WEEPHOLES.

FORM 12mm EJ TO EACH BRICK SKIN WITH 50mm ABELFLEX STRIP. FILL JOINT WITH POLYETHYLENE FOAM BACKING ROD & SEAL WITH COLOURED MASTIC. EJ AT MAX. 9m cts UNLESS OTHERWISE SPECIFIED. SLIP JOINT BETWEEN CONCRETE SLAB & SUPPORTING MASONRY WALLS. CLEAR ALL PERPENDS TO LOWEST COURSE.

EXTERIOR WALLS - CLADDING

SELECTED EXTERIOR GRADE CLADDING OVER ENVIROSEAL OR BRADFORD WALLWRAP XP (BAL RATED). FIX INTERNAL LINING OVER INSULATION (REFER TO BASIX / NATHERS REQUIREMENTS) & SISALATION. SELECTED COLOUR EXTERIOR PAINT TO A LEVEL 4 PAINT FINISH. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

ROOF

SELECTED PROFILED SHEET STEEL ROOFING (COLORBOND FINISH). COLORBOND FASCIAS, GUTTERS & FLASHINGS. FIX IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. ROOF FRAMING & ROOF BATTENS TO AS1684.

WET AREAS

WET AREAS SHOWN HATCHED, LAY SELECTED NON-SLIP CERAMIC TILES TO EQUAL R11 / P4 ON MORTAR BED GRADED TO GIVE FALLS TO FW'S AS SHOWN. AREAS TO BE TREATED IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS 3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.

THE WATERPROOFING SYSTEM TO BE APPROPRIATE FOR THE BASE CONSTRUCTION. DO NOT WATERPROOF OVER PARTICLE BOARD OR TIMBER FLOORING.

PROVIDE EVIDENCE OF MANUFACTURER'S PRODUCT INSTALLATION DATA SHEETS & REQUIREMENTS.

INSTALL ALL PRODUCTS TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

TILING

TILING TO BE COMPLETED WITH NO RAISED EDGES OR TIGHT JOINTS.

APPROPRIATE TRIMS & FINISH BEADS TO BE INSTALLED.

SUB-STANDARD TILING WILL BE REJECTED. REJECTED WORK TO BE REMOVED. BASE WORK IS TO BE PREPARED & NEW MATCHING MATERIALS SUPPLIED & LAID AT CONTRACTOR'S EXPENSE.

REFER TO COMPLIANCE NOTE SHEET FOR GENERAL NOTES.

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REVISION	DESCRIPTION	DATE	NEW INDUSTRIAL SHEDS		TYPICAL SECTION	JAN 2022	TL		
A	DEVELOPMENT APPLICATION	15/08/2022	CLIENT		LOT 90 DP 1119204	As indicated	DRAWN BY		
C	UPDATED DEVELOPMENT APPLICATION	29/05/2024					EB		
			GOULBURN BUILDING PRODUCTS		27 ROSS STREET GOULBURN NSW 2580	A3 SHEET	JOB NUMBER		
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					DRAWING IDENTIFICATION NUMBER		AMENDMENT ISSUE		
					A-12		C		

DOOR SCHEDULE					
DOOR NO.	DOOR TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT
01	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
02	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
03	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
04	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
05	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
06	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
07	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
08	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
09	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
10	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
11	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
12	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
13	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
14	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
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24	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
25	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
26	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
27	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
28	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
29	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
30	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
31	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
32	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
33	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
34	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
35	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
36	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
37	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200
38	LOCKABLE STEEL ROLLER DOOR TO MANUFACTURERS SPECIFICATION	2200	2500	0	2200

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CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.

NOTES:

- REGISTERED SURVEYOR TO ESTABLISH BOUNDARY & SET OUT BUILDING IN STRICT ACCORDANCE WITH THIS DOCUMENTATION SET. ALL DIMENSIONS SUBJECT TO SITE SURVEY.
- SUPPLY & INSTALL ALL NECESSARY FITTINGS & FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
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- ALL MATERIALS & WORKMANSHIP ARE TO BE OF BEST QUALITY UNDERTAKEN BY FULLY QUALIFIED TRADESMEN. ALL MATERIALS TO BE SUPPLIED NEW. ALL DAMAGED MATERIALS TO BE REJECTED AND REPLACED WITH NEW.
- THE CONTRACTOR IS TO NOTIFY THE PROJECT MANAGER OF ANY ERRORS OR OMISSIONS IN THE DOCUMENTATION PRIOR TO COMMENCING WORK. THE PROJECT MANAGER TO CONTACT THE APPROPRIATE CONSULTANT FOR ADVICE PRIOR TO COMMENCING THE WORKS.
- COMMENCEMENT OF THE WORKS BY THE CONTRACTOR CONSTITUTES A FULL UNDERSTANDING OF THE PROJECT & ACCEPTANCE OF ALL SITE CONDITIONS & THE SUPPLIED DOCUMENTATION.
- TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY OR INDEMNITY FOR CONDITIONS, LATENT OR OTHERWISE, ARISING WITHOUT NOTIFICATION PRIOR TO COMMENCING THE WORKS.
- ALL WORK TO BE CARRIED OUT COMPETENT, SKILLED & QUALIFIED TRADESPEOPLE HOLDING CURRENT CERTIFICATION WITH THE REQUIRED AUTHORITY.
- PROVIDE ALL MATERIALS, LABOUR & EQUIPMENT NECESSARY TO COMPLETE THE WORK AS PER THE DRAWING SET & ASSOCIATED DOCUMENTATION.
- GRADE FINISHED GROUND LINE TO GIVE FALLS AWAY FROM BUILDINGS.

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DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE	DOOR SCHEDULES		DRAWING COMMENCED	DRAWING VERIFIED BY	
REVISION A C	DESCRIPTION DEVELOPMENT APPLICATION UPDATED DEVELOPMENT APPLICATION	DATE 15/08/2022 29/05/2024	NEW INDUSTRIAL SHEDS		LOT AND DEPOSITED PLAN NO. LOT 90 DP 1119204	JAN 2022		TL		
			CLIENT GOULBURN BUILDING PRODUCTS			DRAWING SCALE 1 : 100 AT SHEET SIZE A3 SHEET	DRAWN BY EB			
							JOB NUMBER 0122-1457			
							DRAWING IDENTIFICATION NUMBER A-13			
							AMENDMENT ISSUE C			
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BATTER EDGE OF FILL AND FEATHER TO NATURAL GROUND



BATTER EDGE OF CUT AND FEATHER TO NATURAL GROUND

APPROXIMATE AREA OF CUT, SHOWN HATCHED IN RED

CUT AND FILL DRIVEWAY AS REQUIRED TO ACHIEVE FALLS IN ACCORDANCE WITH GMC ENGINEERING STANDARD

PROPERTY BOUNDARY LINE SHOWN IN PINK

SHED OUTLINE SHOWN DASHED

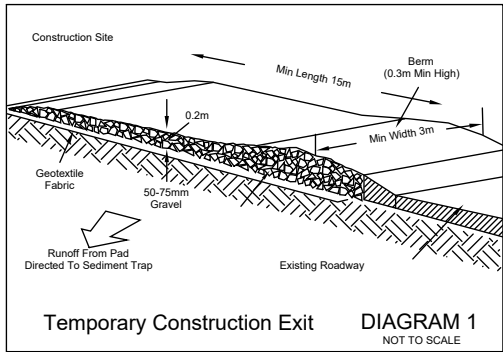
 - AREA OF CUT
 - AREA OF FILL

1 CUT AND FILL PLAN
1 : 500 @ A3

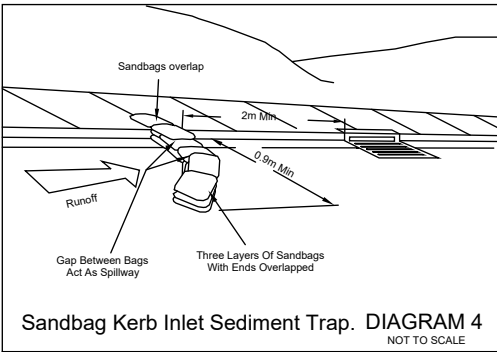


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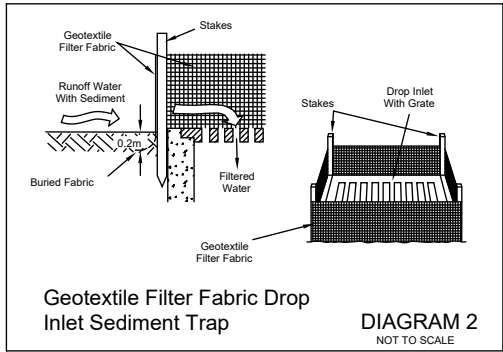
DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div> <th>DRAWING TITLE</th> <th>DRAWING COMMENCED</th> <th>DRAWING VERIFIED BY</th>	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	NEW INDUSTRIAL SHEDS		CUT AND FILL PLAN	JAN 2022	TL
A	DEVELOPMENT APPLICATION	15/08/2022	CLIENT		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY
C	UPDATED DEVELOPMENT APPLICATION	29/05/2024	GOULBURN BUILDING PRODUCTS		LOT 90 DP 1119204	As indicated AT SHEET SIZE	EB
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		27 ROSS STREET GOULBURN NSW 2580	A3 SHEET	JOB NUMBER
							0122-1457
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
						A-14	C



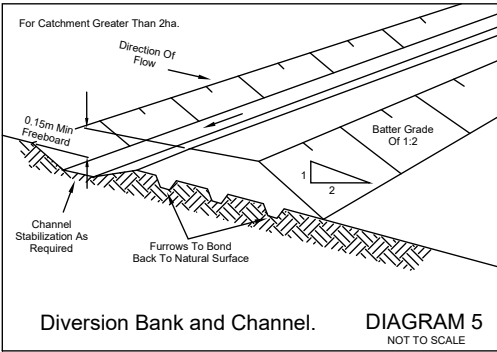
Temporary Construction Exit
DIAGRAM 1
NOT TO SCALE



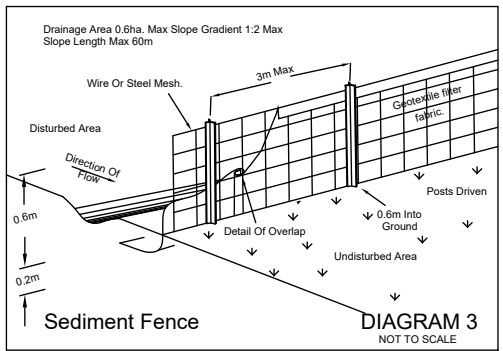
Sandbag Kerb Inlet Sediment Trap. DIAGRAM 4
NOT TO SCALE



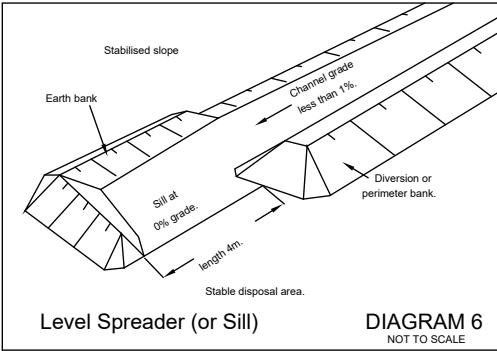
Geotextile Filter Fabric Drop Inlet Sediment Trap
DIAGRAM 2
NOT TO SCALE



Diversion Bank and Channel. DIAGRAM 5
NOT TO SCALE



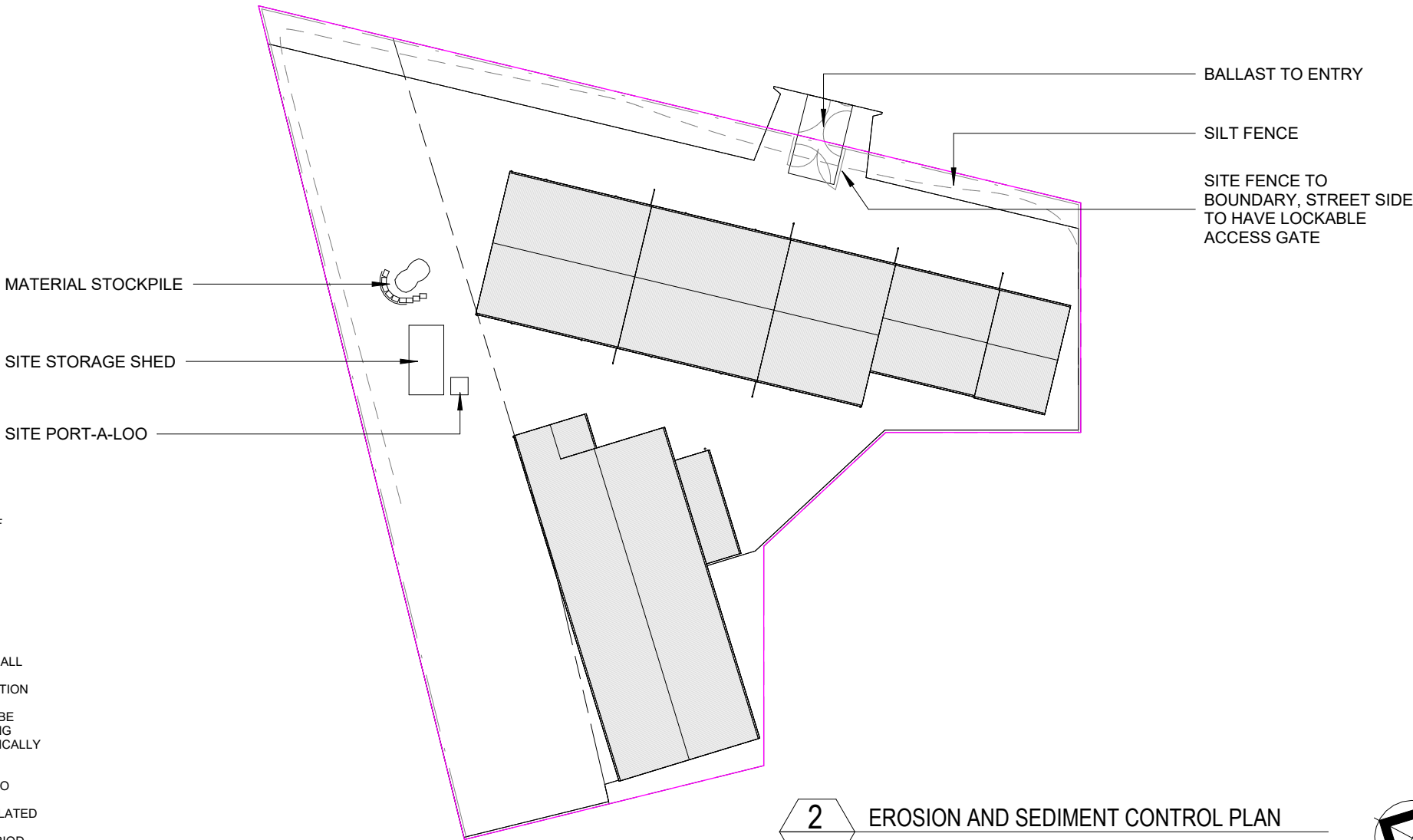
Sediment Fence
DIAGRAM 3
NOT TO SCALE



Level Spreader (or Sill) DIAGRAM 6
NOT TO SCALE

GENERAL NOTES:

- ALL WORK TO COMPLY WITH THE REQUIREMENTS OF COUNCIL & DEPT OF HOUSING MANUAL "MANAGING URBAN STORMWATER - SOILS & CONSTRUCTION"
- ALL DISTURBED AREAS ON VERGES & ALLOTMENTS SHALL BE RIPPED 100mm BELOW FINISHED SURFACE LEVEL, 100mm OF APPROVED SITE OR IMPORTED TOPSOIL ADDED & TRIMMED TO FINISHED LEVEL, THEN GRASSED WITH APPROVED SEED/ MULCHED WITHIN 14 DAYS AND WATERED UNTIL FULL ESTABLISHMENT OCCURS.
- ALL ADJOINING AREAS TO BE PROTECTED FROM SEDIMENT VIA SILT FENCE AS DETAILED. (IF FALL TO LAND OCCURS)
- ALL PROPOSED AND EXISTING KERB INLET SUMPS SHALL BE PROTECTED FROM SEDIMENT AS DETAILED. (GULLY PIT PROTECTION)
- ALL SURFACE INLET PITS (OFF ROAD) SHALL BE PROTECTED FROM SEDIMENT AS DETAILED. (SURFACE INLET PITS)
- ALL PAVEMENT & SUBGRADES TO BE PROTECTED FROM SCOUR/EROSION AS DETAILED. (PAVEMENT PROTECTION)
- ALL OUTLET PIPE'S SHALL BE FITTED WITH STAKED STRAW BALES & SILT FENCE IN A DAM PATTERN.
- ALL SWALE DRAINS (OPEN CHANNELS) TO BE TREATED AS PER PAVEMENT PROTECTION UNTIL GRASS IS ESTABLISHED.
- 300mm WIDE STRIP OF TURF TO BE LAID BEHIND KERB. 1m RETURNS AT 50m INTERVALS. TURF ALSO TO BE LAID AROUND ALL SURFACE INLET PITS.
- EXISTING GRASSED AREAS SHOWN ON SOIL AND WATER MANAGEMENT PLAN ARE TO BE MAINTAINED IN CURRENT CONDITION WHERE EVER POSSIBLE
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (ie: ALL FOOTPATHS, BATTERS, SITE REGRADING AREAS, DRAINAGE RESERVES AND CHANNELS.) TOPSOIL SHALL NOT BE RESPREAD ON ANY OTHER AREA UNLESS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS UPSLOPE TO DIVERT THE RUNOFF AROUND THEM. IN SOME CIRCUMSTANCES IT MAY BE NECESSARY TO PLACE BANKS OR DRAINS DOWNSTREAM OF A STOCKPILE TO RETARD SEDIMENT LADEN RUNOFF.
- THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. NO SILT IS TO BE PLACED OUTSIDE THE LIMIT OF WORKS. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTILL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
- VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING CONSTRUCTION CONFINING ACCESS WHERE POSSIBLE TO PROPOSED OR EXISTING ROAD ALIGNMENTS.
- THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.
- THE CONTRACTOR'S RESPONSIBILITY IS TO ENSURE ALL NECESSARY MEASURES ARE TAKEN TO PROTECT ALL DISTURBED AREAS AS PER NOTE 1. ALL ADDITIONAL COSTS IS TO BE REFLECTED IN TENDER PRICE EVEN IF SUCH MEASURES ARE NOT INDICATED ON SEDIMENT AND EROSION CONTROL PLANS.



2

EROSION AND SEDIMENT CONTROL PLAN

1 : 500 @ A3

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DRAWING AMENDMENTS

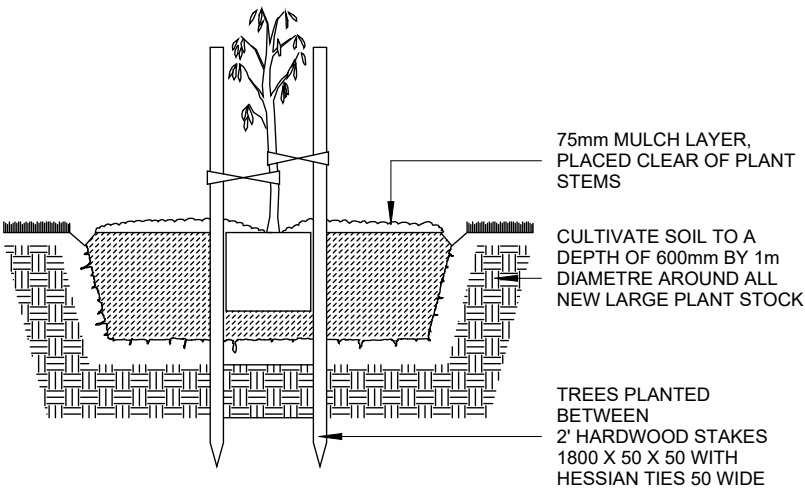
REVISION	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	15/08/2022
C	UPDATED DEVELOPMENT APPLICATION	29/05/2024

PROJECT TITLE	NEW INDUSTRIAL SHEDS
CLIENT	GOULBURN BUILDING PRODUCTS
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TIM LEE ARCHITECTS
residential commercial industrial
P: 02 4822 5934
ABN: 71425067537
ROSS PLACE
GOULBURN NSW 2580
NOMINATED ARCHITECT:
TIM LEE
NSW REG: 7304
ACT REG: 1030

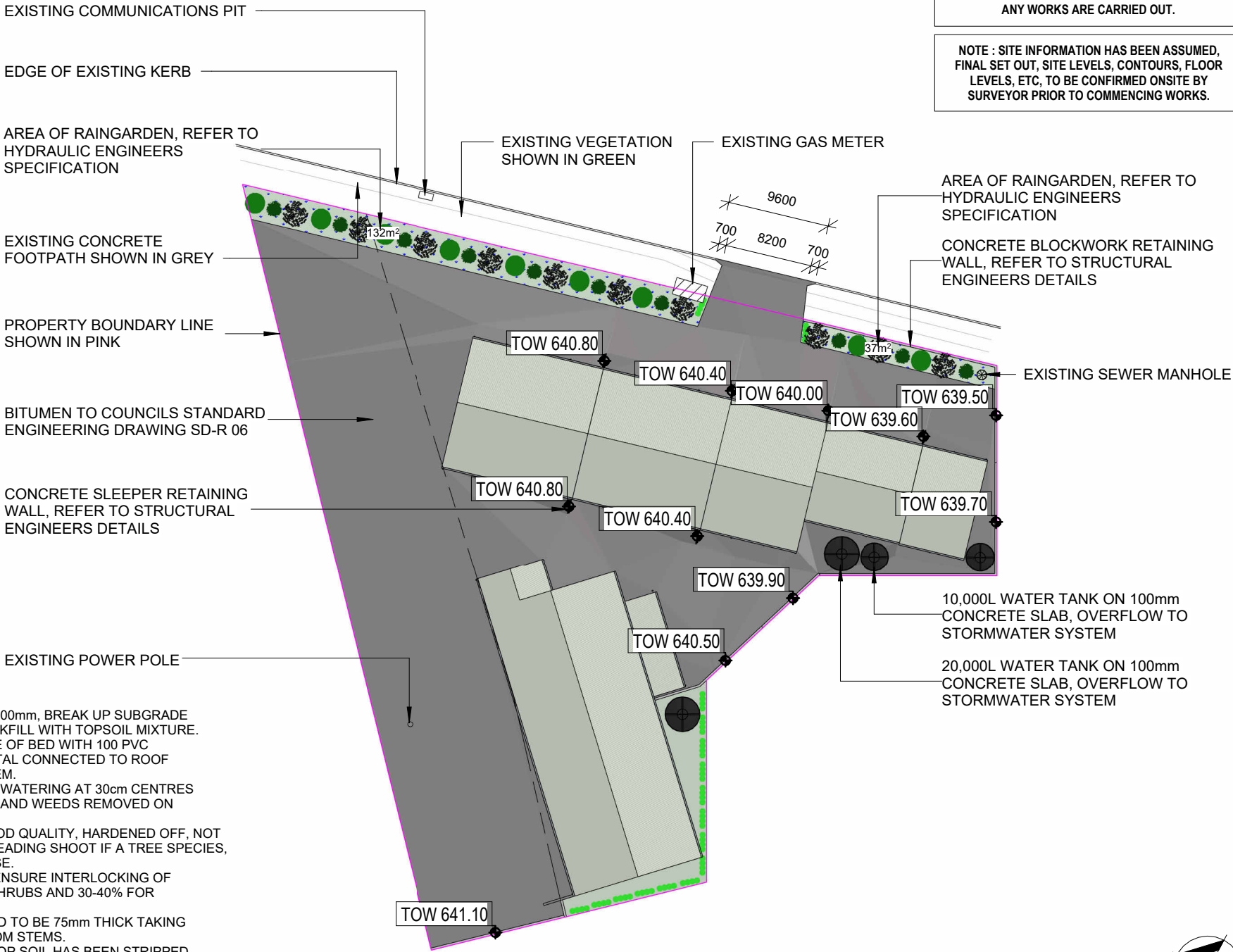
DRAWING TITLE	EROSION AND SEDIMENT CONTROL PLAN	DRAWING COMMENCED	JAN 2022	DRAWING VERIFIED BY	TL
LOT AND DEPOSITED PLAN NO.	LOT 90 DP 1119204	DRAWING SCALE	As indicated	DRAWN BY	EB
STREET ADDRESS	27 ROSS STREET GOULBURN NSW 2580	AT SHEET SIZE	A3 SHEET	JOB NUMBER	0122-1457
DRAWING IDENTIFICATION NUMBER				AMENDMENT ISSUE	C

PLANT SCHEDULE					
(GMC DCP - APPENDIX B : LAND ZONE 4 PLANTING)					
SYMBOL	QTY.	POT SIZE	COMMON	BOTANICAL	
	---	---	CANTURF CANBERRA BLEND WITH CLOVER	TALL FINE FESCUE & KENTUCKY BLUEGRASS WITH 5% O'CONNER'S STRAWBERRY CLOVER ADDED.	
		4.5 LITRE POT, SPACED AT MAX. 900mm APART	'RED ROBIN'	PHOTINIA	
	10	10 LITRE POT, SPACED AS SHOWN ON PLAN	'SILVER BIRCH'	BETULA PENDULA	
	9	30 LITRE POT, SPACED AS SHOWN ON PLANS	'CHINESE PISTACHIO'	PISTACIA CHINENSIS	
	10	4.5 LITRE POT, SPACED AT MAX. 1.5m WITHIN PLANT BED	'BRONZE RAMBLER'	PROTEACEAE GREVILLEA	
NOTE : FINAL PLANTING OF PLANTS TO BE IN ACCORDANCE WITH SUPPLIER'S CURRENT RECOMMENDED INSTRUCTIONS & SPACINGS.					



LANDSCAPING NOTES

- EXCAVATE TO A DEPTH OF 300mm, BREAK UP SUBGRADE A FURTHER 100mm AND BACKFILL WITH TOPSOIL MIXTURE. PROVIDE 1:100 FALL TO BASE OF BED WITH 100 PVC SUBSOIL DRAIN IN BLUE METAL CONNECTED TO ROOF AND YARD DRAINAGE SYSTEM.
- PROVIDE HOSE COCKS FOR WATERING AT 30cm CENTRES
- FAILURES TO BE REPLACED AND WEEDS REMOVED ON REGULAR BASIS.
- PLANT STOCK TO BE OF GOOD QUALITY, HARDENED OFF, NOT ROOT BOUND AND WITH A LEADING SHOOT IF A TREE SPECIES, FREE OF PESTS AND DISEASE.
- PLANTS TO BE SPACED TO ENSURE INTERLOCKING OF CANOPIES BY 10-20% FOR SHRUBS AND 30-40% FOR GROUND COVER.
- MULCHING OF PLANTING BED TO BE 75mm THICK TAKING CARE TO CLEAR MULCH FROM STEMS.
- SOIL TREATMENT: WHERE TOP SOIL HAS BEEN STRIPPED, APPLY GYPSUM 300g/m sq. AFTER REPLACING TOPSOIL TO 300mm DEEP, APPLY LIME AT 200g/m sq. AND ENSURE PH IS 5.5-6.5. APPLY A LOW 9NKPS FERTILISER AT 100g/m sq>.
- AREAS INDICATED GRASSED TO BE ROTARY HOED THROUGH 100mm TOPSOIL AND FIRST QUALITY TURF TO BE ROLLED, TAMPED, WATERED AND TOP DRESSED. REMOVE IRREGULARITIES AND MOW AT FORTNIGHTLY INTERVALS.



1 LANDSCAPE PLAN
1 : 500 @ A3

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REVISION A C	DESCRIPTION DEVELOPMENT APPLICATION UPDATED DEVELOPMENT APPLICATION	DATE 15/08/2022 29/05/2024	NEW INDUSTRIAL SHEDS		LANDSCAPE PLAN	JAN 2022	TL
			CLIENT GOULBURN BUILDING PRODUCTS		LOT AND DEPOSITED PLAN NO. LOT 90 DP 1119204	DRAWING SCALE As indicated AT SHEET SIZE A3 SHEET	DRAWN BY EB
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EXISTING CONCRETE FOOTPATH
SHOWN IN GREY

AREA OF RAINGARDEN, REFER TO
HYDRAULIC ENGINEERS
SPECIFICATION

ROSS STREET

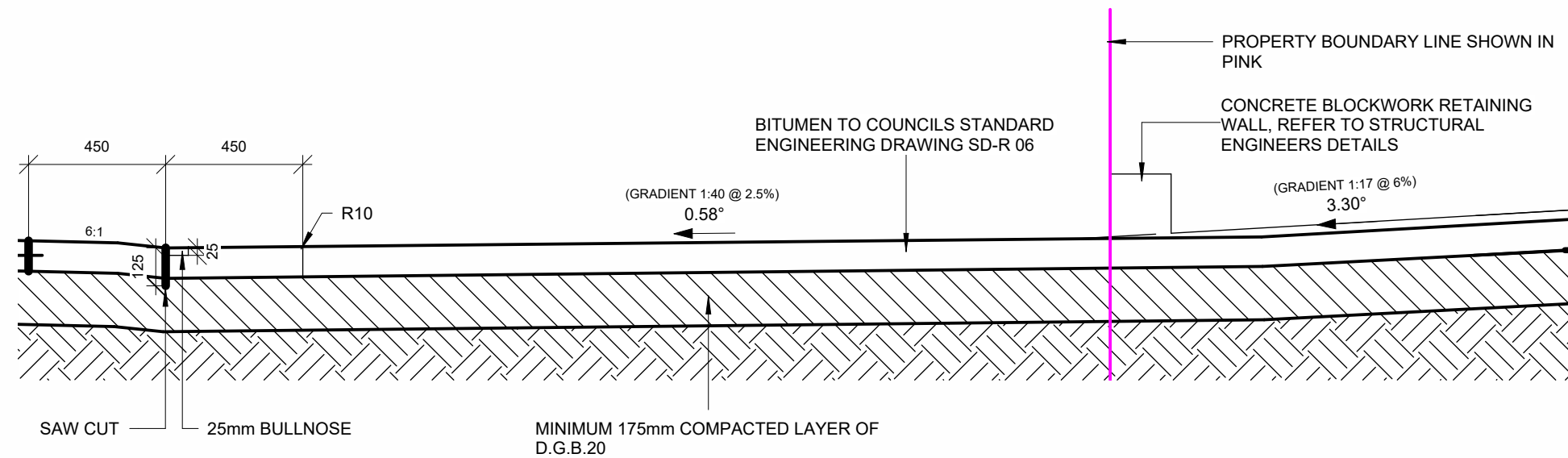
EDGE OF EXISTING KERB

BITUMEN TO COUNCILS STANDARD
ENGINEERING DRAWING SD-R 06

PROPERTY BOUNDARY LINE SHOWN
IN PINK

CONCRETE BLOCKWORK RETAINING
WALL, REFER TO STRUCTURAL
ENGINEERS DETAILS

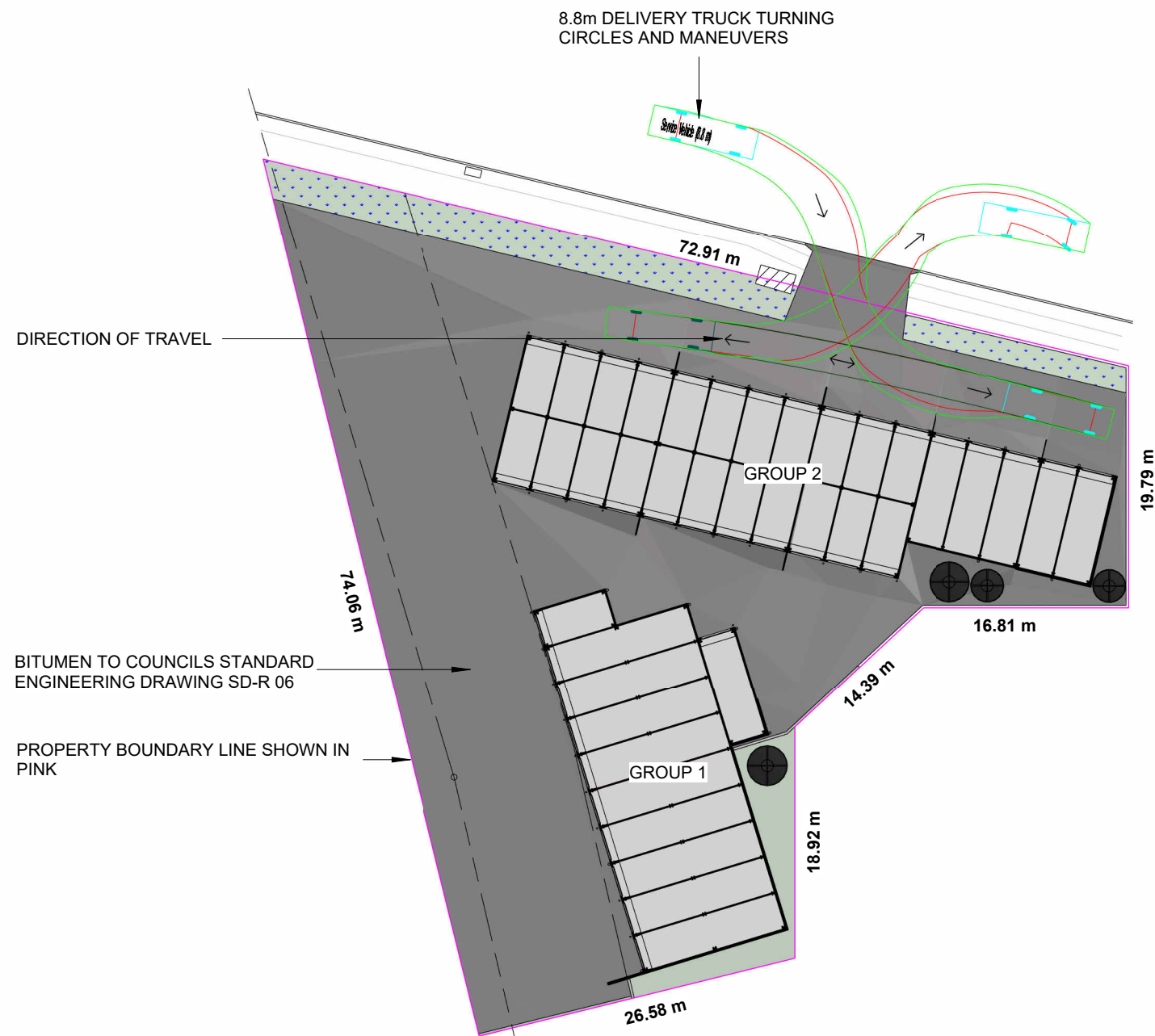
1 s138 DRIVEWAY DETAIL
1 : 100 @ A3



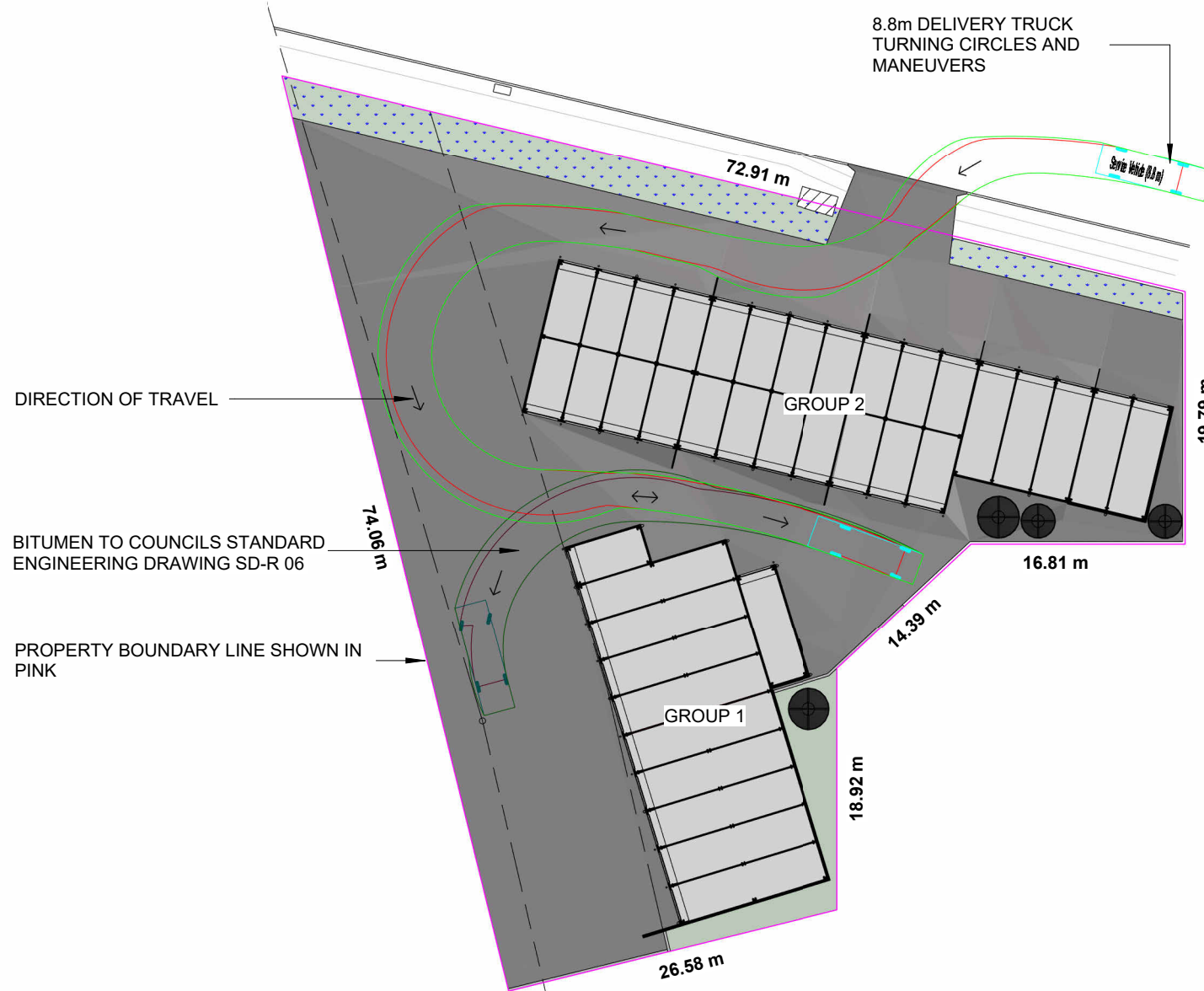
2 s138 DRIVEWAY SECTION
1 : 20 @ A3

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REVISION A C	DESCRIPTION DEVELOPMENT APPLICATION UPDATED DEVELOPMENT APPLICATION	DATE 15/08/2022 29/05/2024	NEW INDUSTRIAL SHEDS		s138 DRIVEWAY DETAIL		JAN 2022		TL	
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			<div>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect</div> <div>C</div>		STREET ADDRESS		DRAWING IDENTIFICATION NUMBER		AMENDMENT ISSUE	
				27 ROSS STREET GOULBURN NSW 2580		A-17		C		
								0122-1457		



1 8.8m DELIVERY TRUCK TURNING CIRCLES 1
1 : 500 @ A3



2 8.8m DELIVERY TRUCK TURNING CIRCLES 2
1 : 500 @ A3



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DEVELOPMENT APPLICATION
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DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div><div><div>C</div></div></div>	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	NEW INDUSTRIAL SHEDS		8.8m DELIVERY TRUCK TURNING CIRCLES	JAN 2022	TL
			CLIENT		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY
A	DEVELOPMENT APPLICATION	15/08/2022	GOULBURN BUILDING PRODUCTS		LOT 90 DP 1119204	1 : 500	EB
C	UPDATED DEVELOPMENT APPLICATION	29/05/2024	Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		STREET ADDRESS	AT SHEET SIZE	JOB NUMBER
					27 ROSS STREET GOULBURN NSW 2580	A3 SHEET	0122-1457
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
					A-18	C	

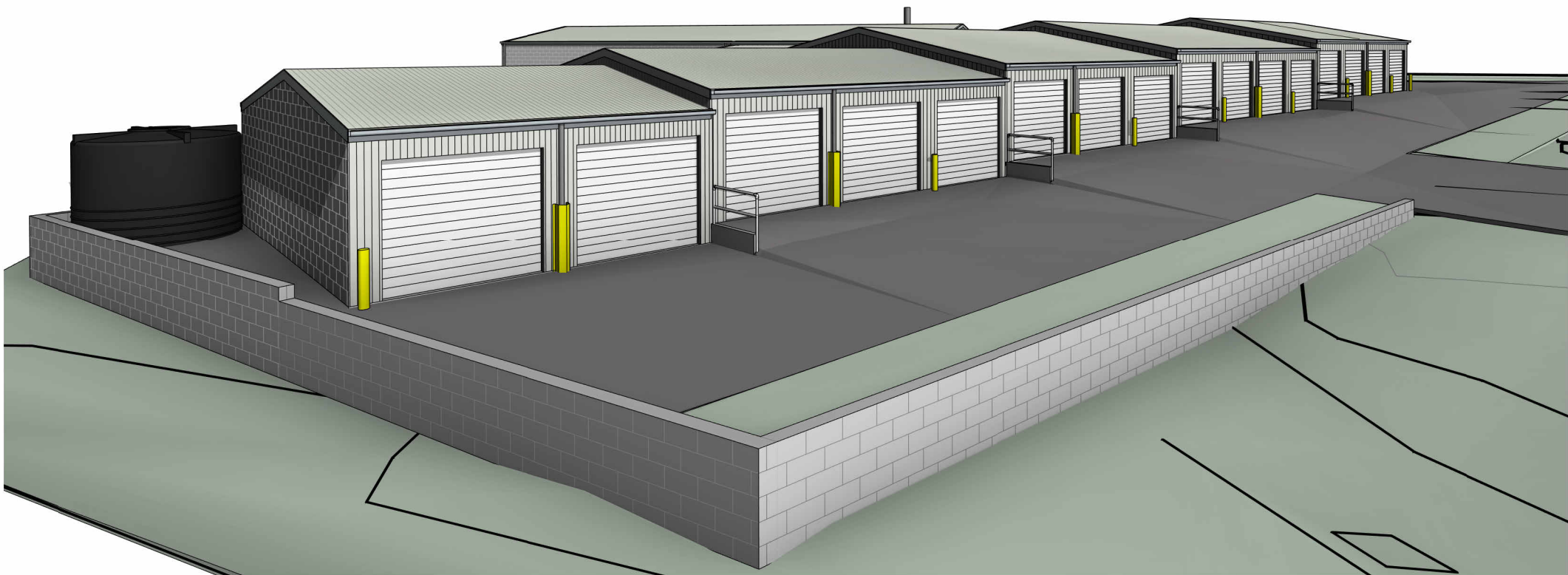


1 8.8m DELIVERY TRUCK TURNING CIRCLES 3
1 : 500 @ A3

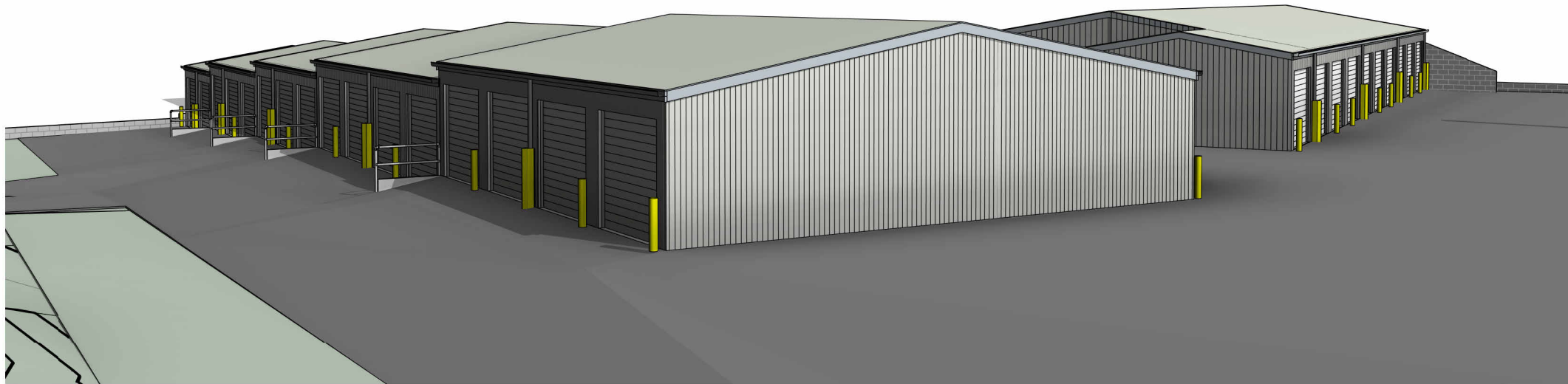


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REVISION A C	DESCRIPTION DEVELOPMENT APPLICATION UPDATED DEVELOPMENT APPLICATION	DATE 15/08/2022 29/05/2024	NEW INDUSTRIAL SHEDS		8.8m DELIVERY TRUCK TURNING CIRCLES	JAN 2022	TL	
			CLIENT		LOT AND DEPOSITED PLAN NO. LOT 90 DP 1119204	DRAWING SCALE 1 : 500 AT SHEET SIZE	DRAWN BY EB	
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.			A3 SHEET	JOB NUMBER 0122-1457	
						STREET ADDRESS 27 ROSS STREET GOULBURN NSW 2580	DRAWING IDENTIFICATION NUMBER A-19	AMENDMENT ISSUE C



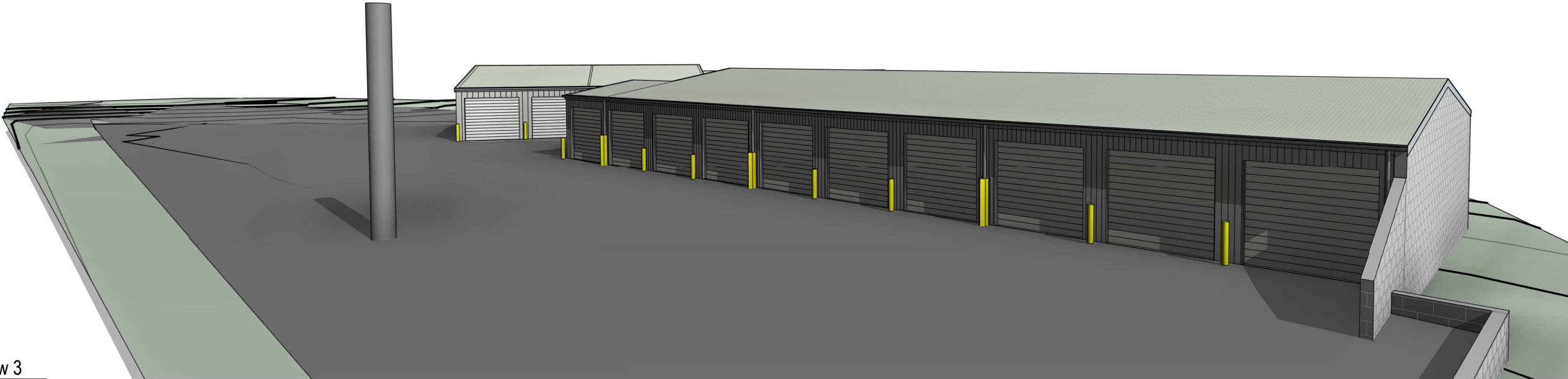
1 3D View 1
@ A3



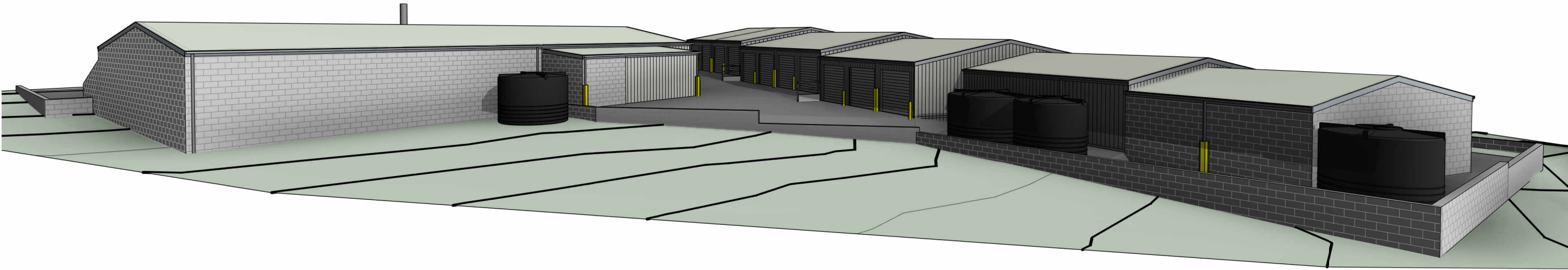
2 3D View 2
@ A3

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REVISION	DESCRIPTION	DATE	NEW INDUSTRIAL SHEDS		3D PERSPECTIVES	JAN 2022	TL
A	DEVELOPMENT APPLICATION UPDATED DEVELOPMENT APPLICATION	15/08/2022	CLIENT		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY
C		29/05/2024	GOULBURN BUILDING PRODUCTS		LOT 90 DP 1119204	AT SHEET SIZE	JOB NUMBER
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		STREET ADDRESS	A3 SHEET	0122-1457
				27 ROSS STREET GOULBURN NSW 2580	DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
					A-20	C	



1 3D View 3
@ A3



2 3D View 4
@ A3

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					27 ROSS STREET GOULBURN NSW 2580	A3 SHEET	0122-1457
						A-21	AMENDMENT ISSUE
							C